



Memorandum

To: Mayor and Board of Aldermen
From: Judy Daniel, Director of Planning
Date: June 20, 2017

Re: Planning Commission Case 2200
Request to Extend Water and Sewer to Wellington Place (PPIN #17752)

Zoning: Outside of City Limits

Please consider this request for preliminary approval of city water and sewer service to the Wellington Place condominium development, to include 68 residential units, located on a property of +/- 17.25 acres off the east side of Anchorage Road approximately one-half mile from the Oxford City limits. This proposal includes dwellings of varied sizes with a recreation area with a clubhouse and pool. The property, currently wooded and vacant, sloping steeply away from Anchorage Road, to a more level area where the majority of the units are to be built. Only the units fronting on Anchorage Road will be visible as intervening properties will block the view of the southern portions of the property. Three access roads are proposed, with primary entrances on the north, and a secondary access on the south.

This proposal is for 15 single family detached units (all with 4 bedrooms each) along the Anchorage Road frontage, 9 facing the street, and 6 facing the pool and clubhouse area. Both will have parking provided at their rear along an access drive. There will be a 4-foot high (brick and metal grill) fence along the Anchorage frontage, with openings in the fence to access the homes fronting the sidewalk.

Just beyond the pool area, a section of 32 dwellings in 4 unit attached townhomes (all with 3 bedrooms) is proposed. And further to the south is a section of 18 duplex units (7 with 3 bedrooms and 2 with 4 bedrooms); and 3 additional detached units (with 4 bedrooms each) is planned. This provides a balanced development with 31% detached units (18), 54% townhouse units (32), and 15% duplex units (18). And while 40% of the units have 4 bedrooms, all but two of those are in single family detached dwellings, not multi-family dwellings.

Oxford City Policy is to review development in Lafayette County requesting city utilities to evaluate how well it conforms or not to the recommendations on the Future Land Use Map in the Vision 2037 Master Plan. The recommendation for this area is single family residential uses, and the proposed development consists of a mix of single-family detached and attached units, with no structure containing more than 4 units. The units are a mix of three and four bedroom dwellings, with the majority of the four bedrooms in the single family detached units. This pattern is in general conformance with the land use place type in the Master Plan.

The design with the detached homes facing Anchorage is also well planned, as there will be gates in the fence along the street for access to the homes; as well as sidewalks from the parking area to the front of the homes.

Planning staff worked with the applicants on their Tree Mitigation study, which will require mitigation for 380 trees. The applicants have stated intent and ability to mitigate all trees on the site.

Public Works Comments: has received a Traffic Impact Study based on traffic counts taken on October 18, 2016, while school was in session at the University of Mississippi and local schools. That study indicates that the increased traffic will not significantly change the current level of service (increased delay of 1-2 seconds on average) or have any negative impact on traffic. The only recommendation in the study is that all driveways comply with the AASHTO intersection sight distance requirements. The engineer has provided a certification that all driveways comply with this recommendation.

Public Works staff inquired about the need for a left turn lane on Anchorage at the drive(s) and we were provided an excerpt from an email with the study engineer which stated that a left turn was not warranted. Anchorage Road is a county road at this portion and the City is not aware of any improvements required by the County. The site layout sheets indicate that a bicycle lane and sidewalk will be constructed on the county right-of-way. This recommendation was a matter of extended discussion, as some members of the Planning Commission felt the recommendation of the engineer was incorrect and that a left turn lane should be recommended anyway. That recommendation was made in a motion that was not seconded.

Requests for the use of city utilities are also reviewed to ensure that they meet all other standards for subdivisions in the city. The plan proposes connecting to City sewer through the use of a privately-owned lift station and a combination of private and public sewer force main. The City would own and maintain the force main located along Anchorage and Breckenridge Roads, provided the County agrees to grant an easement for the installation of the force main on county right-of-way. The portion of the force main inside the private property and all of the gravity sewer would be privately owned and maintained. There was no discussion of the water and sewer recommendations.

Stormwater will be managed through a large retention pond in the rear of the property. The pond will be a "wet" pond holding approximately 8' of water under normal conditions. During rain events, the pond will fill and then drain via a controlled discharge until it reaches the normal elevation. The stormwater plan provided has been reviewed and approved by Public Works. Stormwater was a matter

of extensive discussion, as some members of the Planning Commission felt that the City's stormwater requirements were not stringent enough or punitive enough, as the City continues to see substantial runoff, slumping, or erosion issues after major rain events. This extensive discussion was not reflected in any motion, however.

Recommendation: At the meeting of June 12, 2017 staff and the Planning Commission recommended approval of this request for extension of city utilities with the following conditions:

1. The applicant shall provide the City of Oxford with an executed Petition for Annexation.
2. Approval is contingent on the Lafayette County Planning Commission approving the development.
3. Approval is contingent on the Board of Alderman agreeing a contract to provide sewer services outside of the City limits; and the Board of Alderman will not hear the request for sewer until conditions 1 and 2 above have been met.
4. Include standard language in the condominium covenants placing common responsibility all common areas with the Property Owners Association and the lot owners individually; and tying all lots to their responsibilities to the Common Areas. This must be completed before the sewer agreement is completed.
5. Prior to the issuance of any building permits, verification that all trees can be mitigated on the site.
6. Approval is for the site plan as submitted.
7. Approval is contingent on the owner receiving and providing the City with a copy of the grading easement for work being done on adjacent property.
8. Approval is contingent on Public Works granting final approval of the water and sewer layout.
9. Approval is contingent on Public Works receiving the required water line easement from the property owner and an easement from the County for the force main.
10. Approval is contingent on the owner making any roadway improvements required by the County.
11. Prior to the issuance of any certificate of occupancy, a stamped recorded copy of the covenants be provided to the City of Oxford Planning Department.

If you need additional information or have further questions, please feel free to contact the Planning Department.



Case 2200

To: Oxford Planning Commission
From: Judy Daniel, AICP, Director
Date: June 12, 2017

Applicant: Pine Bluff Investments, LLC.
Owner: Same
Request: Extension of Oxford City Water and Sewer to Wellington Place
Location: Anchorage Road, Lafayette County
Zoning: Lafayette County, beyond Oxford City Limits

Planning Comments: This is a request for preliminary approval of city water and sewer service to serve the 'Wellington Place' development, to be located on east side of Anchorage Road approximately one-half mile from the Oxford City limits. This proposal includes 35 dwellings of varied sizes, located on a parcel of +/- 17.25 acres (PIN# 17752) and a recreation area with a clubhouse and pool. The property, currently wooded and vacant, sloping steeply away from Anchorage, to a more level area where the majority of the units are to be built. Only the units fronting on Anchorage will be visible. Intervening properties will block the view of the southern portions of the property. Two access roads are proposed, with a primary entrance on the north, and a secondary access on the south.

This proposal is for 15 single family detached units (all with 4 bedrooms each) along the Anchorage frontage, 9 facing the street, and 6 facing the pool and clubhouse area. Both will have parking provided at their rear along an access drive. There will be a 4-foot high (brick and metal grill) fence along the Anchorage frontage, with openings in the fence to access the homes fronting the road. Just beyond the pool area, is a section of 32 dwellings in 4 unit attached townhomes (all with 3 bedrooms). Further to the south is a section of 9 duplex units (7 with 3 bedrooms and 2 with 4 bedrooms); and 3 detached units (with 4 bedrooms each). This provides a balanced development with 31% detached units, 54% townhouse units, and 15% duplex units. And while 40% of the units have 4 bedrooms, all but two of those are in single family detached dwellings, not multi-family dwellings.

Oxford City Policy is to review development in Lafayette County requesting city utilities to evaluate how well it conforms or not to the recommendations on the Future Land Use Map in the Vision 2037 Master Plan. The recommendation for this area is single family residential uses, and the proposed development consists of a mix of single-family detached and attached units, with no structure containing more than 4 units. The units are a mix of three and four bedroom dwellings, with the majority of the four bedrooms in the single family detached units. This pattern is in general conformance with the land use place type in the Master Plan.

The design with the detached homes facing Anchorage is also well planned, as there will be gates in the fence along the street for access to the homes; as well as sidewalks from the parking area to the front of the homes.

Planning staff worked with the applicants on their Tree Mitigation study, which will require mitigation for 380 trees. The applicants have stated intent to mitigate all trees on the site.

Public Works Comments: has received a Traffic Impact Study based on traffic counts taken on October 18, 2016, while school was in session at the University of Mississippi and local schools. That study indicates that the increased traffic will not significantly change the current level of service (increased delay of 1-2 seconds on average) or have any negative impact on traffic. The only recommendation in the study is that all site driveways comply with the AASHTO A Policy on Geometric Design of Highway and Streets intersection sight distance requirements. The engineer has provided a certification that all driveways comply with this recommendation. Public Works staff inquired about the need for a left turn lane on Anchorage at the drive(s) and we were provided an excerpt from an email with the County Traffic Engineer which stated that a left turn was not warranted. Anchorage Road is a county road at this portion and the City is not aware of any improvements required by the County. The site layout sheets indicate that a bicycle lane and sidewalk will be constructed on the county right-of-way.

Requests for the use of city utilities are also reviewed to ensure that they meet all other standards for subdivisions in the city. The plan proposes connecting to City sewer through the use of a privately-owned lift station and a combination of private and public sewer force main. The City would own and maintain the force main located along Anchorage and Breckenridge Roads, provided the County agrees to grant an easement for the installation of the force main on county right-of-way. The portion of the force main inside the private property and all of the gravity sewer would be privately owned and maintained.

Stormwater will be managed through a large retention pond in the rear of the property. The pond will be a "wet" pond holding approximately 8' of water under normal conditions. During rain events, the pond will fill and then drain via a controlled discharge until it reaches the normal elevation. The stormwater plan provided has been reviewed and approved by Public Works.

Approval is recommended with the conditions noted below:

Recommendation: Staff recommends approval of this request for extension of city utilities with the following conditions:

1. The applicant shall provide the City of Oxford with an executed Petition for Annexation.
2. Approval is contingent on the Lafayette County Planning Commission approving the development.
3. Approval is contingent on the Board of Alderman agreeing a contract to provide sewer services outside of the City limits; and the Board of Alderman will not hear the request for sewer until conditions 1, 2, and 3 above have been met.
4. Include standard language in the condominium covenants placing common responsibility all common areas with the Property Owners Association and the lot owners individually; and tying all lots to their responsibilities to the Common Areas. This must be completed before the sewer agreement is completed.
5. Mitigation for 380 trees on the site.
6. Approval is for the site plan as submitted.
7. Approval is contingent on the owner receiving and providing the City with a copy of the grading easement for work being done on adjacent property.
8. Approval is contingent on Public Works granting final approval of the water and sewer layout.
9. Approval is contingent on Public Works receiving the required water line easement from the property owner and an easement from the County for the force main.
10. Approval is contingent on the owner making any roadway improvements required by the County.

If you need additional information or have further questions, please feel free to contact the Planning Department.

CONSTRUCTION PLANS FOR WELLINGTON PLACE

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C103 SITE LAYOUT- MIDDLE
C104 SITE LAYOUT - EAST
C105 SITE LAYOUT - SOUTHEAST
C106 SITE DETAILS
C107 DUMPSTER DETAILS
C200 GRADING AND EROSION CONTROL - OVERALL
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PROJECT LOCATION

LAFAYETTE COUNTY, MISSISSIPPI

VICINITY MAP
N.T.S.

OWNER/DEVELOPER:

PINE BLUFF INVESTMENTS, LLC
3839 MAJESTIC OAKS
OXFORD, MS 38655

UTILITIES:

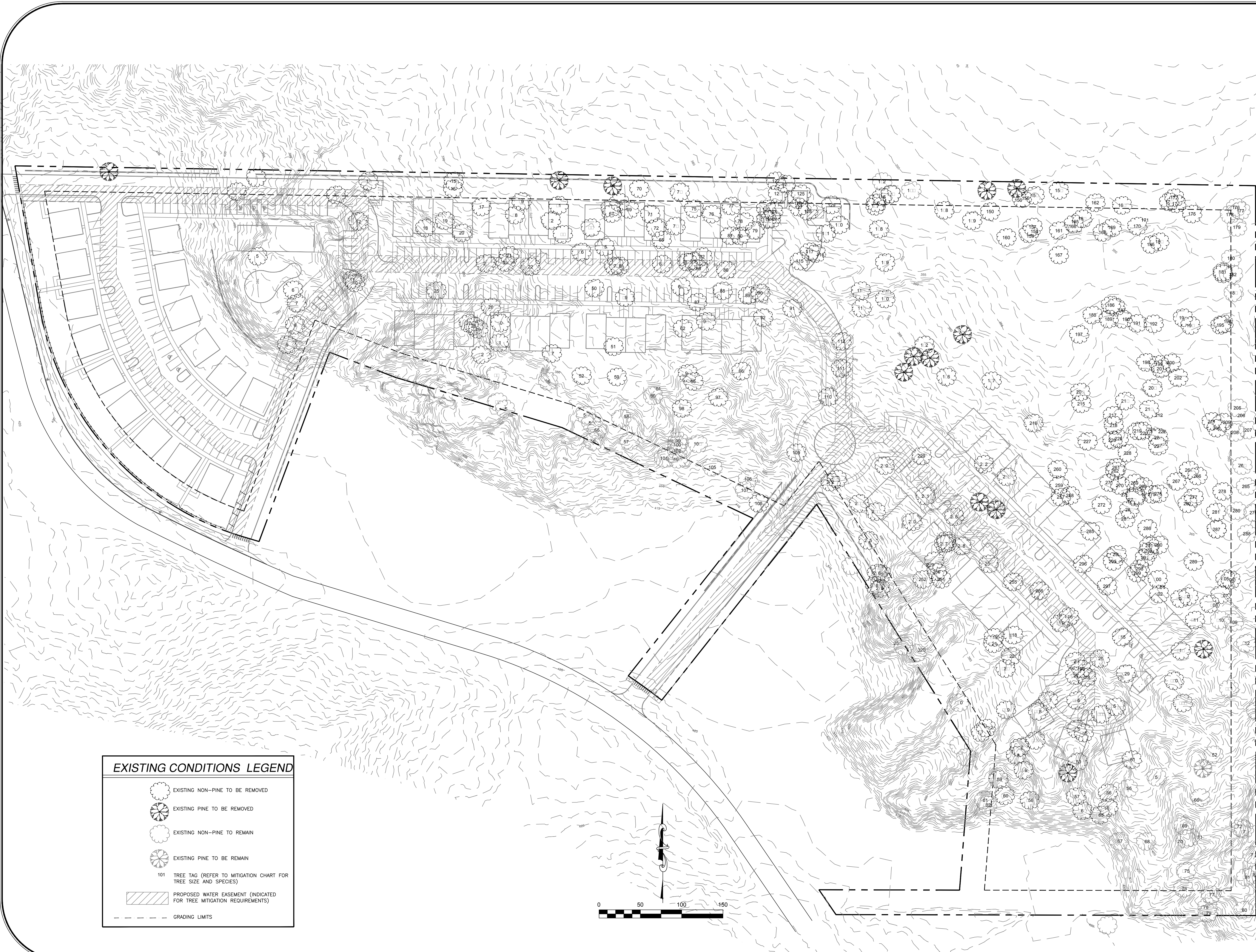
CITY OF OXFORD WATER
AND SEWER

N.E.M.E.P.A.

CONSULTING ENGINEER:

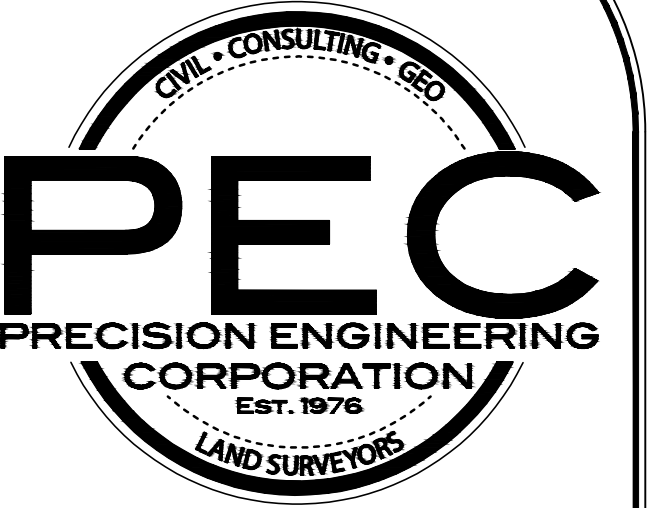
PRECISION ENGINEERING CORPORATION
276 COUNTY ROAD 101
OXFORD, MS 38655
(662) 234 8539

PLANNING COMMISSION - THIRD SUBMITTAL
JUNE 5, 2017



EXISTING CONDITIONS LEGEND

- EXISTING NON-PINE TO BE REMOVED
- EXISTING PINE TO BE REMOVED
- EXISTING NON-PINE TO REMAIN
- EXISTING PINE TO REMAIN
- 101 TREE TAG (REFER TO MITIGATION CHART FOR TREE SIZE AND SPECIES)
- PROPOSED WATER EASEMENT (INDICATED FOR TREE MITIGATION REQUIREMENTS)
- - - - - GRADING LIMITS



EMAIL: OXFORD@PECORPMS.COM FAX: (662) 234-8539
PHONE: (662) 234-8539 WEB SITE: PECORPMS.COM

REVISIONS:

NO.:	DATE:	REVISIONS:	BY:
1	5/10/17	SECOND SUBMITTAL	LM
2	6/5/17	THIRD SUBMITTAL	LM
NO.:	DATE:	REVISIONS:	BY:
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NO.:	DATE:	REVISIONS:	BY:
NO.:	DATE:	REVISIONS:	BY:

TREE REMOVAL
FOR
WELLINGTON PLACE

DRAWN BY:	DATE:
LM	2/2/2017
CHECKED BY:	SCALE:
	1"=50'
DRAWING NO.:	
7159	

ALL ENGINEERING DRAWINGS ARE IN CONFIDENCE AND DISSEMINATION MAY NOT BE MADE WITHOUT PRIOR WRITTEN CONSENT OF THE ENGINEER. ALL COMMON LAW RIGHTS OF COPYRIGHT AND OTHERWISE ARE HEREBY SPECIFICALLY RESERVED.

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NO.	DATE	REVISIONS	BY:
NO.	DATE	REVISIONS	BY:

AERIAL IMAGERY
FOR
WELLINGTON PLACE

DRAWN BY: LM	DATE: 2/2/2017
CHECKED BY:	SCALE: 1"=50'
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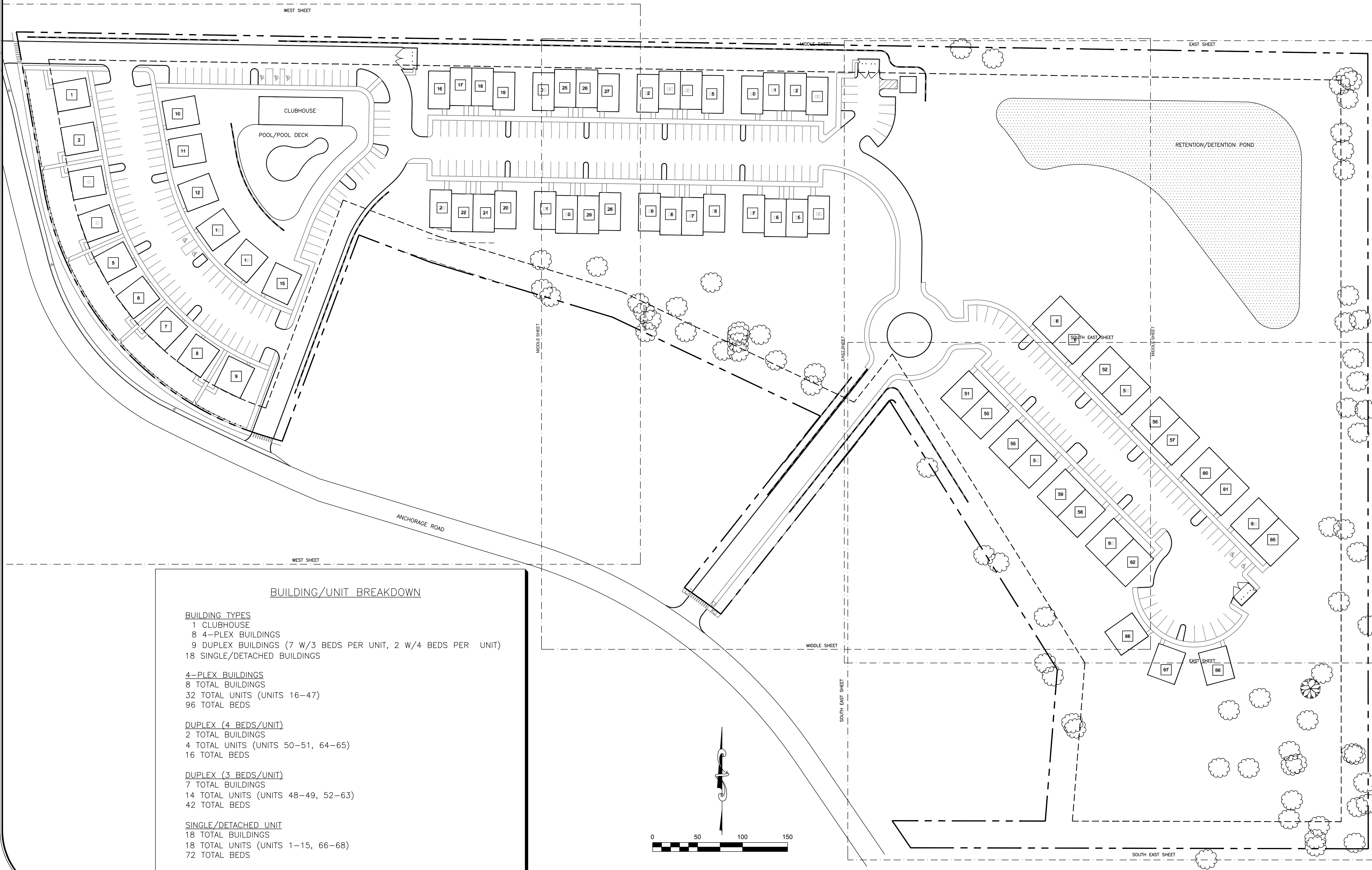
OVERALL SITE LAYOUT
FOR
WELLINGTON PLACE

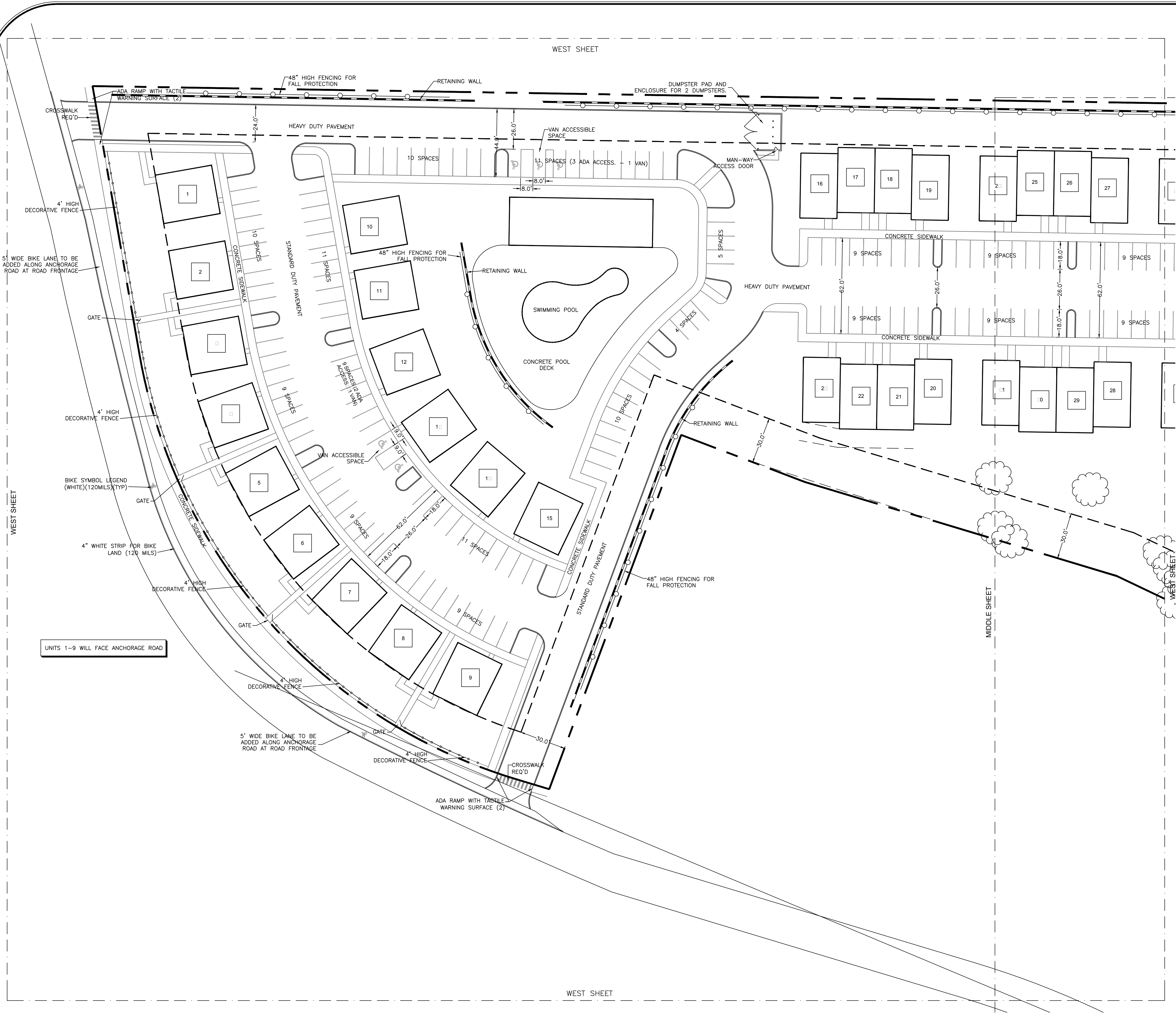
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EXISTING CONDITIONS LEGEND

---	PROPERTY LINE
- - -	ADJOINING PROPERTY LINE
- - -	PROPERTY SETBACK LINES
- - -	EASEMENT LINE
---	EXISTING OVERHEAD ELECTRIC LINES
---	EXISTING SANITARY SEWER MAIN
---	EXISTING FENCE LINES
---	EXISTING 1' CONTOUR
---	EXISTING 5' CONTOUR
○	PROPERTY CORNERS
△	EXISTING MONUMENTS
○	POWER POLES

SITE LAYOUT LEGEND

---	TOP SET HEADER CURB
---	CONCRETE SIDEWALK
---	SEGMENTAL BLOCK RETAINING WALL
---	4" (MIN) HIGH FENCE FOR FALL PROTECTION
---	6" CONCRETE STEPS TO PORCH
---	PROPOSED SIGNAGE

GENERAL ABBREVIATIONS

EX EXISTING	SMH SANITARY SEWER MANHOLE
PR PROPOSED	CC CONCRETE
QL GRATE INLET	CMP CORRUGATED METAL PIPE
AI AREA INLET	DI DUCTILE IRON
CI CURB INLET	MJ MECHANICAL JOINT
FEB FLARED END SECTION	HC HANDICAP
DS DOWNSPOUT	NLC NOT IN CONTRACT
TW FINISH GRADE AT TOP OF WALL	
BW FINISH GRADE AT BOTTOM OF WALL	
HDPE HIGH DENSITY POLYETHYLENE	
FFE FINISHED FLOOR ELEVATION	
FDC FIRE DEPARTMENT CONNECTION	

PLAN NOTES

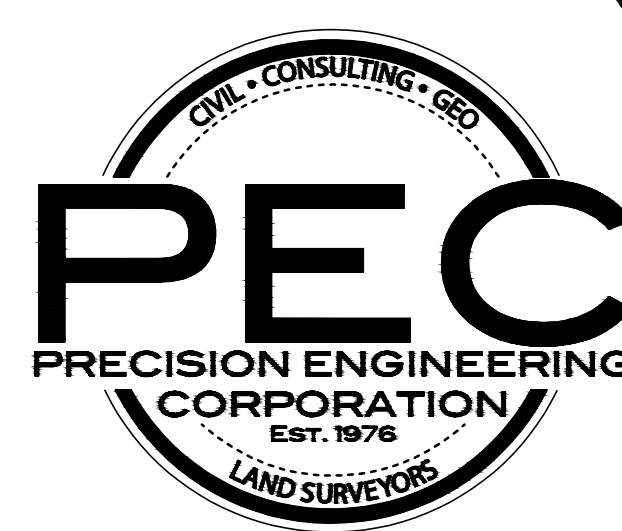
- ALL DIMENSIONS ARE MEASURED TO FACE OF CURB UNLESS NOTED OTHERWISE.
- RETAINING WALL DIMENSIONS ARE MEASURED TO BASE OF WALL.
- ANY HORIZONTAL DESIGN CHANGES MUST BE APPROVED BY THE ENGINEER AND OWNER.

KEYNOTES

□	INDICATES UNIT NUMBERING
---	--------------------------

SITE DATA

TOTAL ACRES	17.246± ACRES
OWNING	N/A (LAFAYETTE COUNTY)
SETBACKS	
FRONT	30 FEET
SIDE	30 FEET
REAR	30 FEET
BUILDING TYPES	
1 CLUBHOUSE	
8 4-PLC BUILDINGS	
9 DUPLEX BUILDINGS (7 W/3 BEDS PER UNIT, 2 W/4 BEDS PER UNIT)	
18 SINGLE/DETACHED BUILDINGS	
4-PLC BUILDINGS	
8 TOTAL BUILDINGS	
32 TOTAL UNITS (UNITS 16-47)	
96 TOTAL BEDS	
DUPLEX (4 BEDS/UNIT)	
2 TOTAL BUILDINGS	
4 TOTAL UNITS (UNITS 50-51, 64-65)	
16 TOTAL BEDS	
DUPLEX (3 BEDS/UNIT)	
7 TOTAL BUILDINGS	
14 TOTAL UNITS (UNITS 48-49, 52-63)	
42 TOTAL BEDS	
SINGLE/DETACHED UNIT	
18 TOTAL BUILDINGS	
18 TOTAL UNITS (UNITS 1-15, 66-68)	
72 TOTAL BEDS	
TOTAL	
36 BUILDINGS	
68 UNITS	
226 TOTAL BEDS	
TOTAL BUILDING FOOTPRINT SQUARE FOOTAGE	81,494 SF
LOT COVERAGE (TOTAL ACRES/ BUILDING FOOTPRINT)	10.8%
PARKING CALCULATIONS:	
CITY REQUIREMENTS	170 SPACES
2 SPACE PER UNIT	136
1 SPACE PER EVER TWO UNITS (GUEST PARKING)	34
PROVIDED PARKING	287 SPACES
REGULAR PARKING	270 SPACES
ADA ACCESSIBLE	7 SPACES
2 VAN ACCESSIBLE SPACE	



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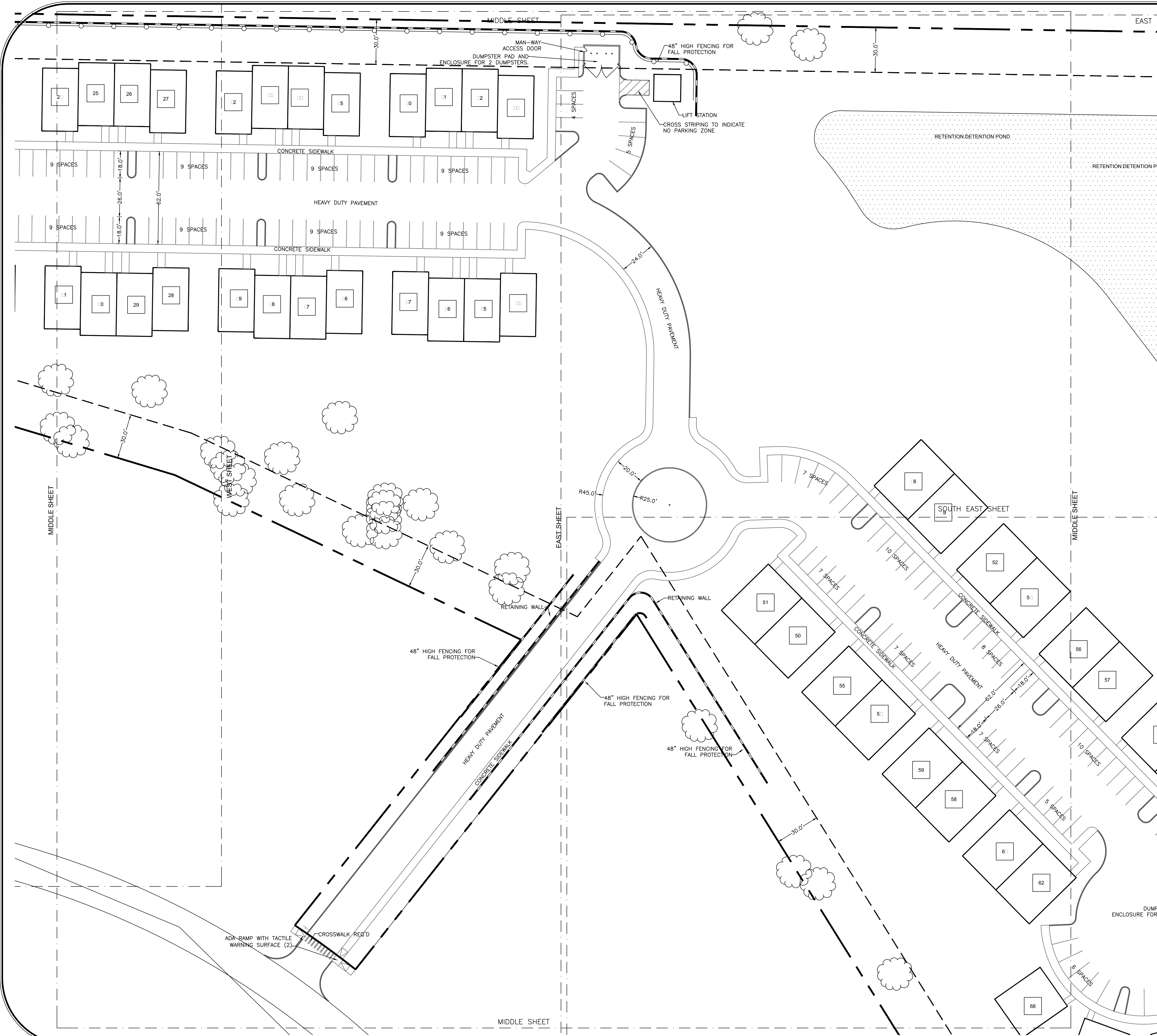
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NO.	DATE	REVISIONS	BY:
NO.	DATE	REVISIONS	BY:
NO.	DATE	REVISIONS	BY:

SITE LAYOUT - WEST
FOR
WELLINGTON PLACE

DRAWN BY:	LM	DATE:	2/2/2017
CHECKED BY:		SCALE:	1"=30'
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EXISTING CONDITIONS LEGEND

	PROPERTY LINE
	ADJOINING PROPERTY LINE
	PROPERTY SETBACK LINES
	EASEMENT LINE
	EXISTING OVERHEAD ELECTRIC LINES
	EXISTING SANITARY SEWER MAIN
	EXISTING FENCE LINES
	EXISTING 1' CONTOUR
	EXISTING 5' CONTOUR
	PROPERTY CORNERS
	EXISTING MONUMENTS
	POWER POLES

SITE LAYOUT LEGEND

	TOP SET HEADER CURB
	CONCRETE SIDEWALK
	SEGMENTAL BLOCK RETAINING WALL
	4' (MIN) HIGH FENCE FOR FALL PROTECTION
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FDC FIRE DEPARTMENT CONNECTION	

PLAN NOTES

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KEYNOTES

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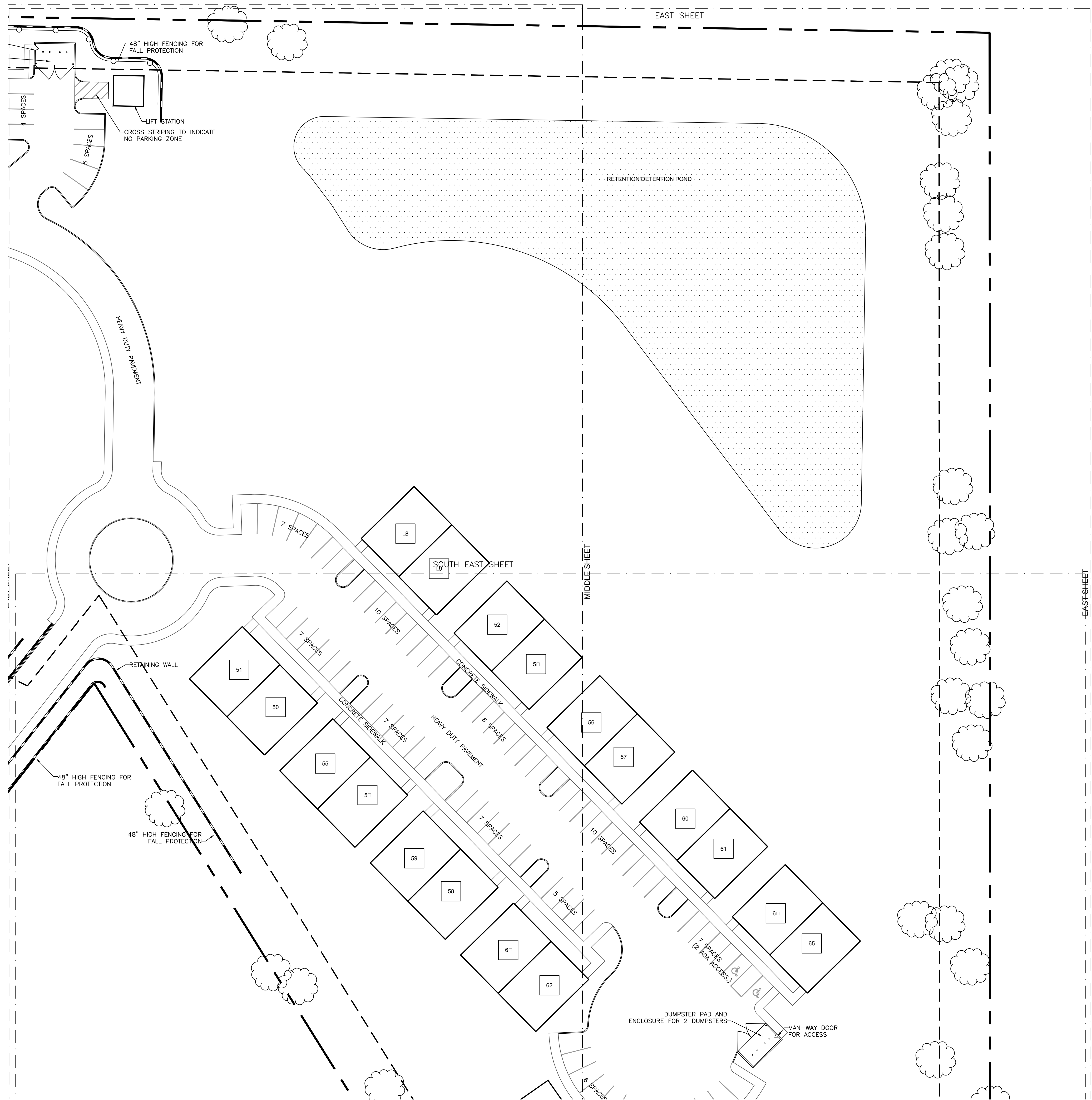
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2	6/5/17	THIRD SUBMITTAL	LM
NO.	DATE	REVISIONS	BY:
NO.	DATE	REVISIONS	BY:
NO.	DATE	REVISIONS	BY:
NO.	DATE	REVISIONS	BY:

SITE LAYOUT - MIDDLE
FOR
WELLINGTON PLACE

DRAWN BY:	LM	DATE:	2/2/2017
CHECKED BY:		SCALE:	1"=30'
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EXISTING CONDITIONS LEGEND

	PROPERTY LINE
	ADJOINING PROPERTY LINE
	PROPERTY SETBACK LINES
	EASEMENT LINE
	EXISTING OVERHEAD ELECTRIC LINES
	EXISTING SANITARY SEWER MAIN
	EXISTING FENCE LINES
	EXISTING 1' CONTOUR
	EXISTING 5' CONTOUR
	PROPERTY CORNERS
	EXISTING MONUMENTS
	POWER POLES

SITE LAYOUT LEGEND

	TOP SET HEADER CURB
	CONCRETE SIDEWALK
	SEGMENTAL BLOCK RETAINING WALL
	4' (MIN) HIGH FENCE FOR FALL PROTECTION

GENERAL ABBREVIATIONS

EX	EXISTING	SMH	SANITARY SEWER MANHOLE
PR	PROPOSED	CC	CONCRETE
QL	GRATE INLET	CMP	CORRUGATED METAL PIPE
AI	AREA INLET	DI	DUCTILE IRON
CI	CURB INLET	MJ	MECHANICAL JOINT
FEB	FLARED END SECTION	HC	HANDICAP
DS	DOWNSPOUT	NIC	NOT IN CONTRACT
TW	FINISH GRADE AT TOP OF WALL		
BW	FINISH GRADE AT BOTTOM OF WALL		
HDPE	HIGH DENSITY POLYETHYLENE		
FFE	FINISHED FLOOR ELEVATION		
FDC	FIRE DEPARTMENT CONNECTION		

PLAN NOTES

- ALL DIMENSIONS ARE MEASURED TO FACE OF CURB UNLESS NOTED OTHERWISE.
- RETAINING WALL DIMENSIONS ARE MEASURED TO BASE OF WALL.
- ANY HORIZONTAL DESIGN CHANGES MUST BE APPROVED BY THE ENGINEER AND OWNER.

KEYNOTES

INDICATES UNIT NUMBERING

SITE DATA

TOTAL ACREAGE	17.246± ACRES
CDNING	N/A (LAFAYETTE COUNTY)
SETBACKS	
FRONT	30 FEET
SIDE	30 FEET
REAR	30 FEET
BUILDING TYPES	
1 CLUBHOUSE	
8 4-PLC BUILDINGS	
9 DUPLEX BUILDINGS (7 W/3 BEDS PER UNIT, 2 W/4 BEDS PER UNIT)	
18 SINGLE/DETACHED BUILDINGS	
4-PLC BUILDINGS	
8 TOTAL BUILDINGS	
32 TOTAL UNITS (UNITS 16-47)	
96 TOTAL BEDS	
DUPLEX (4 BEDS/UNIT)	
2 TOTAL BUILDINGS	
4 TOTAL UNITS (UNITS 50-51, 64-65)	
16 TOTAL BEDS	
DUPLEX (3 BEDS/UNIT)	
7 TOTAL BUILDINGS	
14 TOTAL UNITS (UNITS 48-49, 52-63)	
42 TOTAL BEDS	
SINGLE/DETACHED UNIT	
18 TOTAL BUILDINGS	
18 TOTAL UNITS (UNITS 1-15, 66-68)	
72 TOTAL BEDS	
TOTAL	
36 BUILDINGS	
68 UNITS	
226 TOTAL BEDS	
TOTAL BUILDING FOOTPRINT SQUARE FOOTAGE	81,494 SF
LOT COVERAGE (TOTAL ACREAGE/ BUILDING FOOTPRINT)	10.8%
PARKING CALCULATIONS:	
CITY REQUIREMENTS	170 SPACES
2 SPACE PER UNIT	136
1 SPACE PER EVER TWO UNITS (GUEST PARKING)	34
PROVIDED PARKING	287 SPACES
REGULAR PARKING	270 SPACES
ADA ACCESSIBLE	7 SPACES
2 VAN ACCESSIBLE SPACE	



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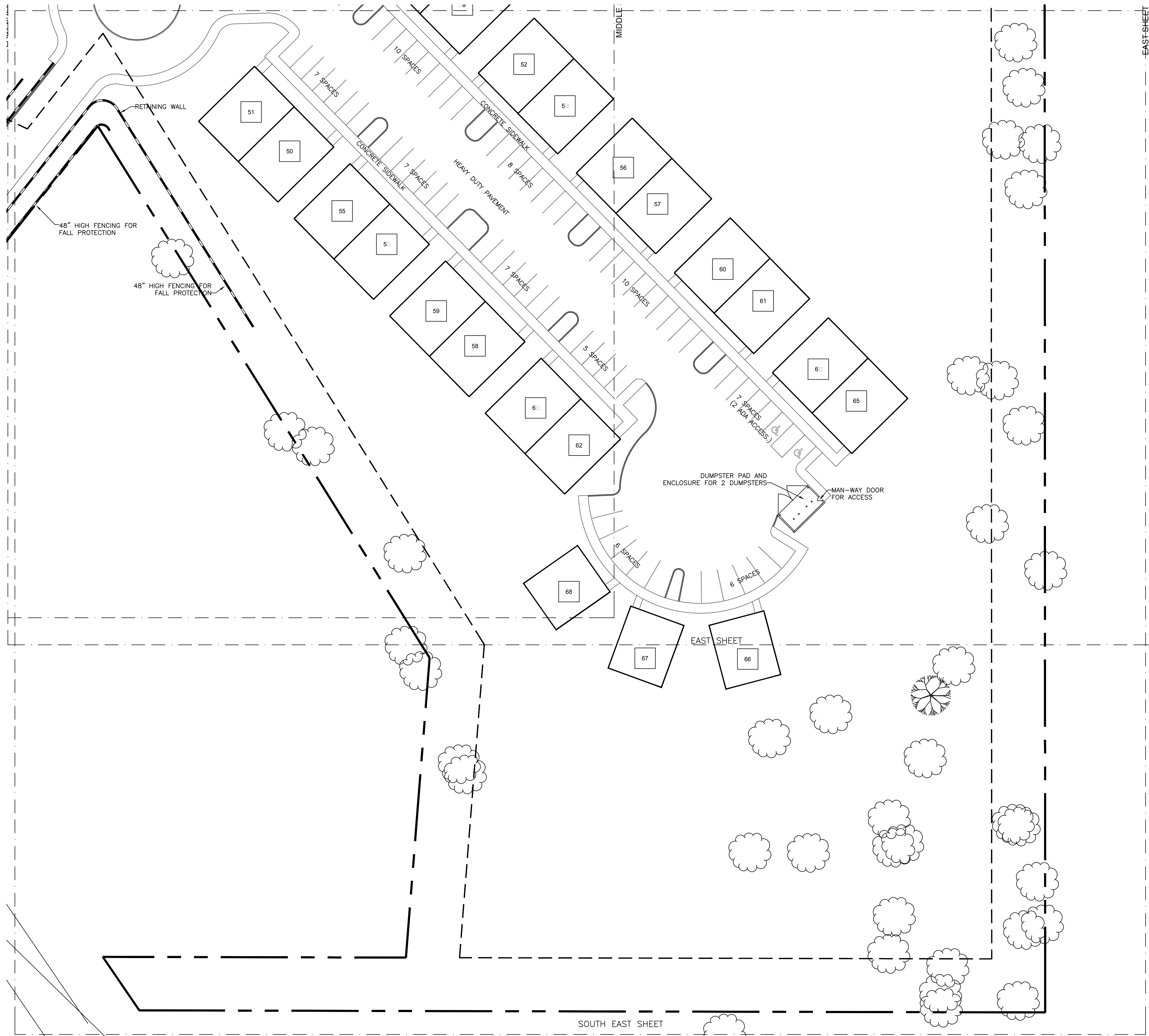
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SITE LAYOUT - EAST
FOR
WELLINGTON PLACE

DRAWN BY:	LM	DATE:	2/2/2017
CHECKED BY:		SCALE:	1"=30'
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EXISTING CONDITIONS LEGEND

	PROPERTY LINE
	ADJOINING PROPERTY LINE
	PROPERTY SETBACK LINES
	EASEMENT LINE
	EXISTING OVERHEAD ELECTRIC LINES
	EXISTING SANITARY SEWER MAIN
	EXISTING FENCE LINES
	EXISTING 1' CONTOUR
	EXISTING 5' CONTOUR
	PROPERTY CORNERS
	EXISTING MONUMENTS
	POWER POLES

SITE LAYOUT LEGEND

	TOP SET HEADER CURB
	CONCRETE SIDEWALK
	SEGMENTAL BLOCK RETAINING WALL
	4' (MIN) HIGH FENCE FOR FALL PROTECTION
	6' CONCRETE STEPS TO PORCH
	PROPOSED SIGNAGE

GENERAL ABBREVIATIONS

EX	EXISTING	SMH	SANITARY SEWER MANHOLE
PR	PROPOSED	CC	CONCRETE
QL	GRATE INLET	CMP	CORRUGATED METAL PIPE
AI	AREA INLET	DI	DUCTILE IRON
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FEB	FLARED END SECTION	HC	HANDICAP
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TW	FINISH GRADE AT TOP OF WALL		
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NO.	DATE	REVISIONS	BY:

SITE LAYOUT - EAST
FOR
WELLINGTON PLACE

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NO.:	DATE:	REVISIONS:	BY:

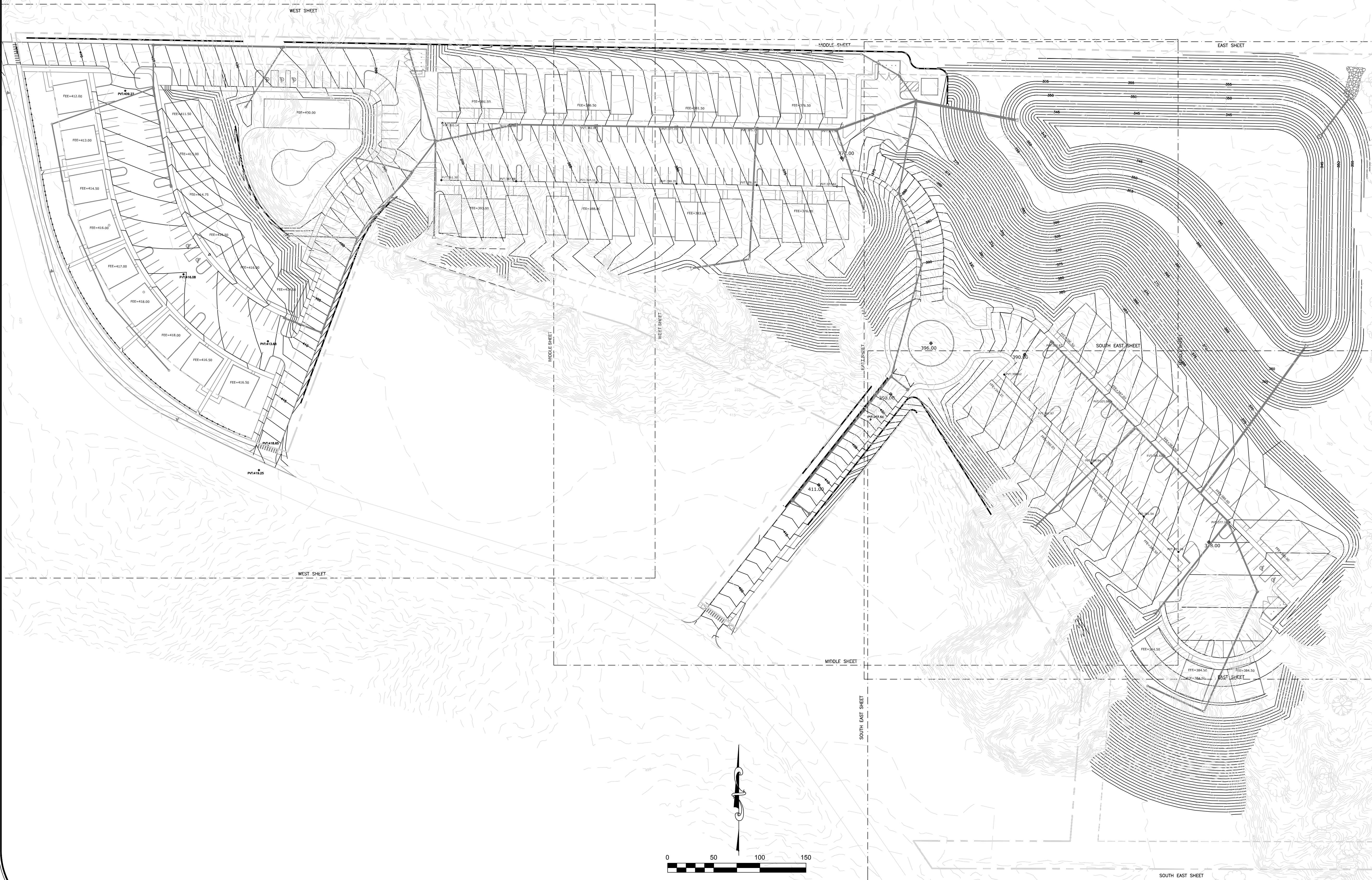
GRADING AND EROSION
CONTROL - OVERALL
FOR
WELLINGTON PLACE

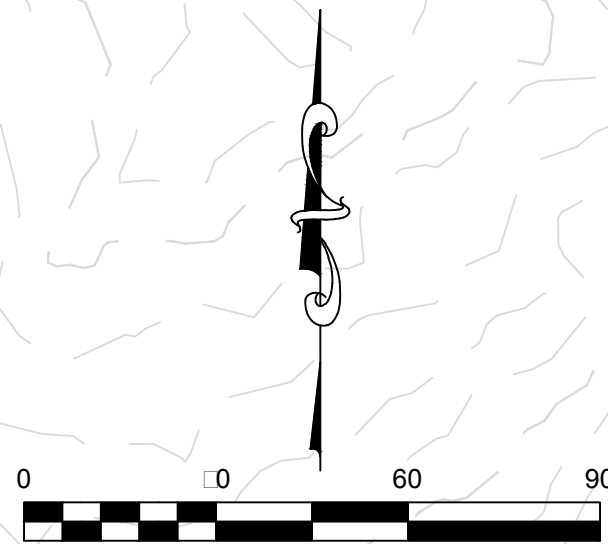
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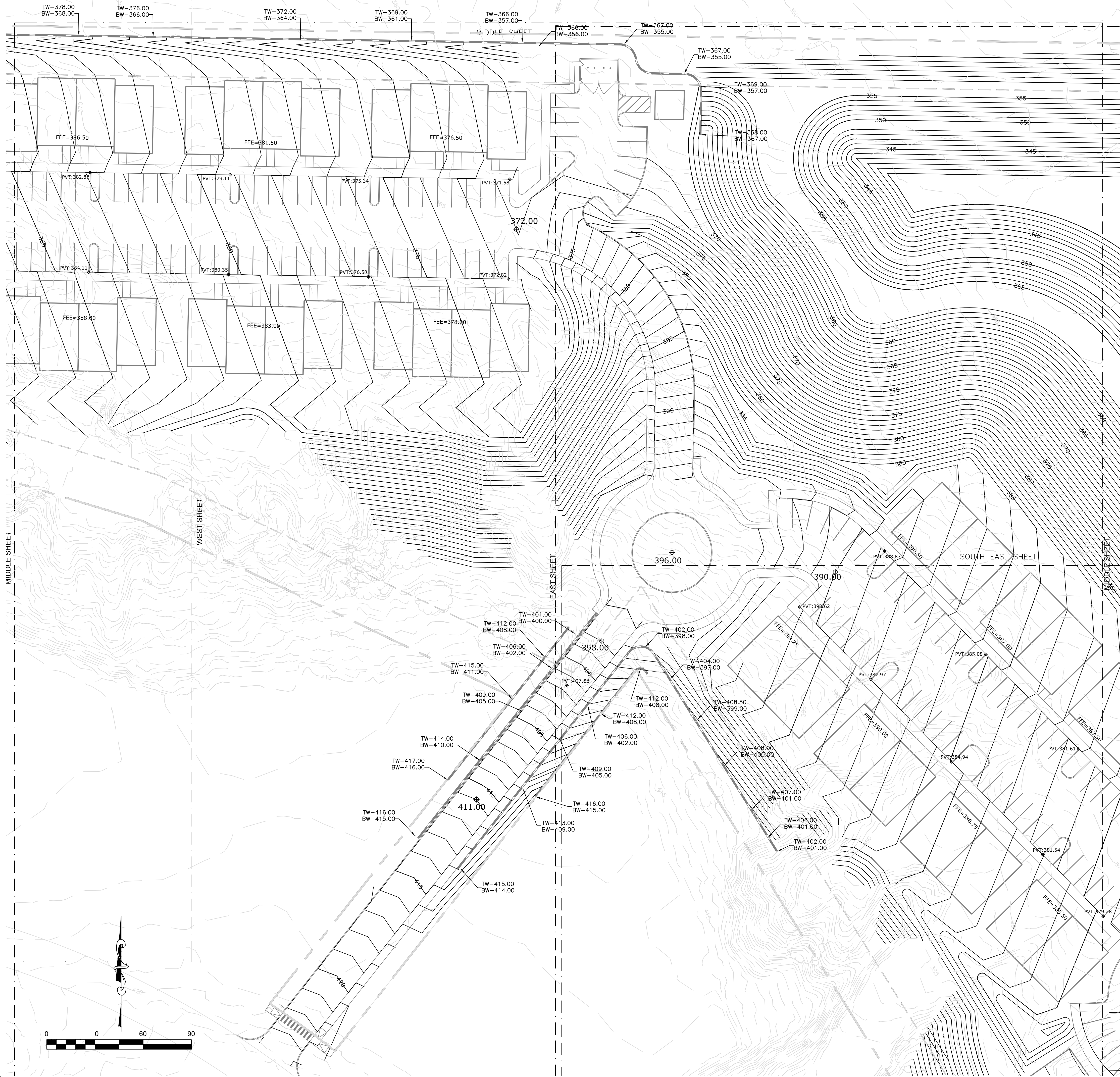
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C201



EXISTING CONDITIONS LEGEND

	PROPERTY LINE
	ADJOINING PROPERTY LINE
	PROPERTY SETBACK LINES
	EASEMENT LINE
	EXISTING OVERHEAD ELECTRIC LINES
	EXISTING 5' CONTOUR
	PROPERTY CORNERS
	EXISTING MONUMENTS
	POWER POLES

EROSION CONTROL LEGEND

	TEMPORARY SILT FENCE
	200# RIP-RAP

GRADING LEGEND

	PROPOSED 1' CONTOUR
	PROPOSED 5' CONTOURS
	SPOT ELEVATION @ FINISH PAVEMENT GRADE
	SPOT ELEVATION @ BOTTOM OF CURB OR GUTTER LINE
	SPOT ELEVATION @ FINISH DIRT GRADE
	SPOT ELEVATION @ FINISH SIDEWALK GRADE

STORM DRAINAGE LEGEND

	PROPOSED HDPE STORM PIPE
	PROPOSED STORM PIPE TO TIE TO DOWNSPOUTS

SITE LAYOUT LEGEND

	COMBINATION CURB AND GUTTER
	CONCRETE SIDEWALK
	SEGMENTAL BLOCK RETAINING WALL
	4' (MIN) HIGH FENCE FOR FALL PROTECTION
	6" CONCRETE STEPS TO PORCH
	PROPOSED SIGNAGE

GENERAL ABBREVIATIONS

EX EXISTING	SMH SANITARY SEWER MANHOLE
PR PROPOSED	CC CONCRETE
QL GRATE INLET	CMP CORRUGATED METAL PIPE
AI AREA INLET	DI DUCTILE IRON
CI CURB INLET	MJ MECHANICAL JOINT
FEB FLARED END SECTION	HC HANDICAP
DS DOWNSPOUT	NLC NOT IN CONTRACT
TW FINISH GRADE AT TOP OF WALL	
BW FINISH GRADE AT BOTTOM OF WALL	
HDPE HIGH DENSITY POLYETHYLENE	
FPE FINISHED FLOOR ELEVATION	
FDC FIRE DEPARTMENT CONNECTION	

PLAN NOTES (EROS. CONTROL)

1. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN EROSION CONTROL DURING CONSTRUCTION BY THE PLACES AND/OR HAY BALES WHERE NECESSARY TO PREVENT DOWNSTREAM SILTATION OF ANY DITCHES, PIPES, DRAINAGE STRUCTURES OR ADJACENT PROPERTIES. THE CONTRACTOR SHALL PROVIDE ANY ADDITIONAL EROSION CONTROL AS NEEDED OR AS DIRECTED BY THE ENGINEER.
2. ALL NEW CUT OR FILL AREAS LACKING ADEQUATE VEGETATION SHALL BE FERTILIZED, MULCHED, SEEDED AND/OR SODDED AS REQUIRED TO EFFECTIVELY CONTROL SOIL EROSION.
3. SEE STORM WATER POLLUTION PREVENTION PLAN FOR HOUSEKEEPING CONTROLS.
5. MISSISSIPPI ONE CALL PHONE ☐ 811
6. CONTRACTOR SHALL SET ASIDE AN AREA NEAR THE CONSTRUCTION ENTRANCE FOR ALL CONCRETE WASHDOWN OPERATIONS. THE CONTRACTOR SHALL INSTALL AN EARTHER WASHDOWN AREA TO INSURE NO WATER IS ALLOWED TO LEAVE THE AREA. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THIS AREA FOR THE ENTIRE LENGTH OF THE PROJECT.
7. BEFORE ANY CONSTRUCTION ACTIVITY CAN BEGIN CONTRACTOR SHALL INSTALL ALL PERIMETER SILT FENCING. ALL INTERIOR SILT FENCING SHALL BE INSTALLED AS THE AREAS OF GRADING BECOMES COMPLETE OR AS NEEDED TO EFFECTIVELY PREVENT EROSION.
8. CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES FOR THE ENTIRE LENGTH OF THE PROJECT.
9. THE CONTRACTOR SHALL BE RESPONSIBLE MEETING AND MAINTAINING ALL REQUIREMENTS OF THE MDEQ SMALL CONSTRUCTION GENERAL PERMIT AND SMALL CONSTRUCTION NOTICE OF INTENT. THIS INCLUDES, BUT IS NOT LIMITED TO ALL NECESSARY EROSION CONTROL INSPECTIONS AND FORMS AS SPECIFIED BY MDEQ. THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND MDEQ CONSTRUCTION GENERAL PERMIT WILL BE INITIALLY PROVIDED BY THE ENGINEER, BUT SHALL BE MAINTAINED BY THE CONTRACTOR. THE CONTRACTOR SHALL NOT START ANY CONSTRUCTION ACTIVITY ON THE SITE UNTIL ALL ONSITE REPRESENTATIVES OF THE CONTRACTOR HAVE A COPY OF THE SWPPP AND MDEQ SMALL CONSTRUCTION GENERAL PERMIT IN HAND.
10. CONTRACTOR SHALL MAINTAIN ADEQUATE EROSION CONTROL ALONG ALL UTILITY TRENCHES.
11. ALL INLETS ARE TO BE PROTECTED BY 12" WATTLE (SEE MDOT INLET PROTECTION TYPICAL APPLICATION AND DETAILS).

PLAN NOTES (GRADING)

1. MINIMUM SLOPE ON ALL UNPAVED AREAS SHALL BE NO LESS THAN 2%.
2. MAXIMUM SLOPE AT SIDEWALKS SHALL BE 1:20 IN THE DIRECTION OF TRAVEL FOR ALL ADA ACCESSIBLE ROUTES UNLESS OTHERWISE NOTED.
3. MAXIMUM CROSS SLOPE AT SIDEWALKS SHALL BE 1:50 PERPENDICULAR TO THE DIRECTION OF TRAVEL UNLESS OTHERWISE NOTED. REVIEW ALL CONDITIONS WITH ARCHITECT ON SITE PRIOR TO INSTALLATION.
4. ALL SPOT ELEVATIONS ON DRIVES, PARKING LOTS, AND SIDEWALKS ARE TO FINISH PAVEMENT GRADE.
5. CONTRACTOR SHALL PROVIDE AN ECAVATION PLAN FOR ANY RETAINING WALL REQUIRING AND ELEVATION OF GREATER THAN 4 FEET. ECAVATION PLAN SHALL INCLUDE: DISTANCE FROM BACK OF GEOGRID TO PROPERTY LINE AND/OR EXISTING IMPROVEMENTS. ECAVATION PLAN SHALL INCLUDE THE PROPOSED SLOPE OF THE ECAVATION FROM BOTTOM OF ECAVATION TO TOP OF ECAVATION.
6. ECAVATION PLANS FOR ECAVATIONS GREATER THAN 19 FEET IN HEIGHT OR ECAVATIONS REQUIRING A SLOPE GREATER THAN 1:1 (H:V) SHALL BE STAMPED BY A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF WALL INSTALLATION.



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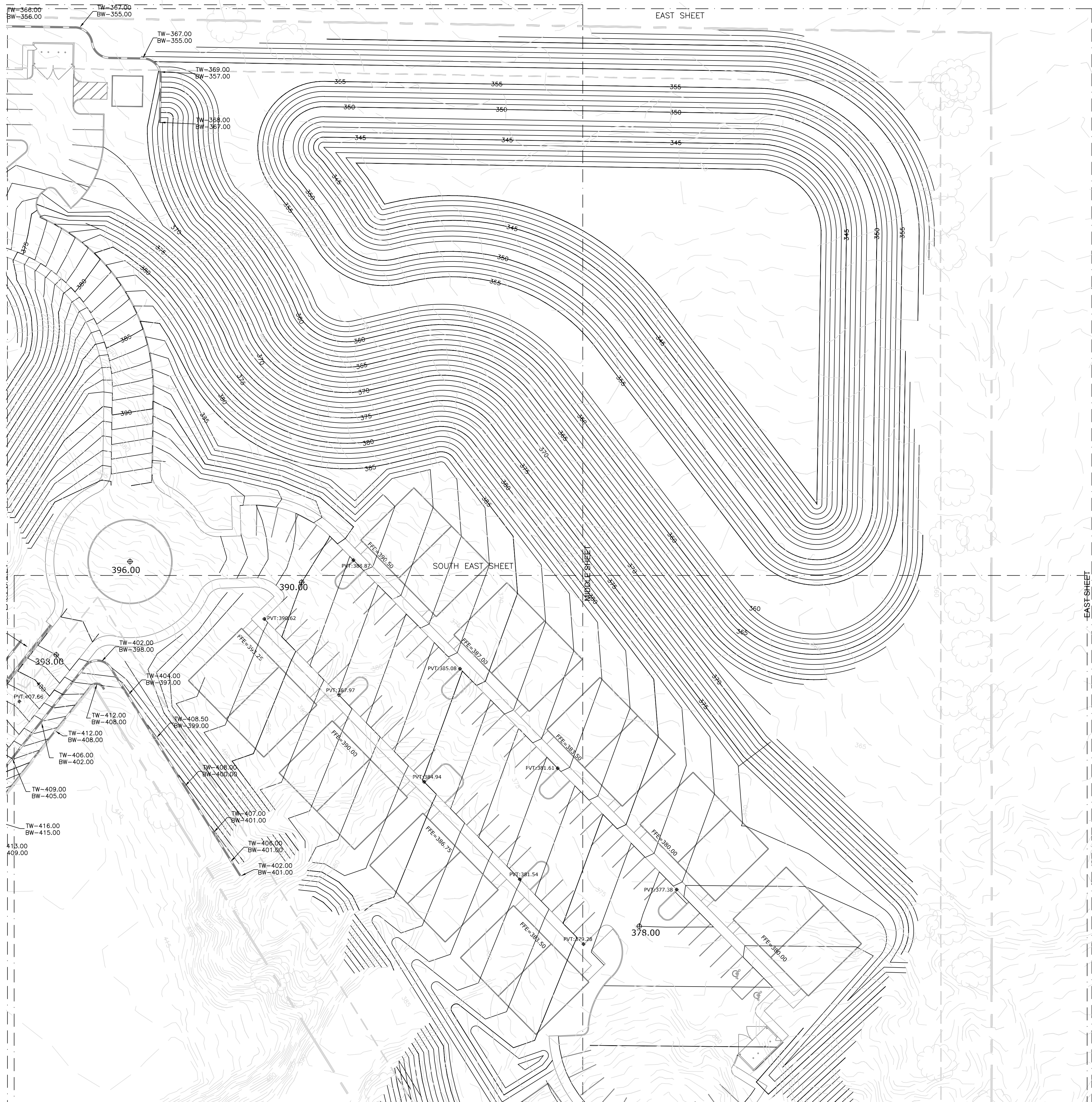
GRADING AND EROSION CONTROL FOR WELLINGTON PLACE

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EXISTING CONDITIONS LEGEND

	PROPERTY LINE
	ADJOINING PROPERTY LINE
	PROPERTY SETBACK LINES
	EASEMENT LINE
	EXISTING OVERHEAD ELECTRIC LINES
	EXISTING 5' CONTOUR
	PROPERTY CORNERS
	EXISTING MONUMENTS
	POWER POLES

EROSION CONTROL LEGEND

	TEMPORARY SILT FENCE
	200# RIP-RAP
	12" WATTLE FOR INLET PROTECTION

GRADING LEGEND

	PROPOSED 1' CONTOUR
	PROPOSED 5' CONTOURS
	PVT: SPOT ELEVATION @ FINISH PAVEMENT GRADE
	BC: SPOT ELEVATION @ BOTTOM OF CURB OR GUTTER LINE
	G: SPOT ELEVATION @ FINISH DIRT GRADE
	SW: SPOT ELEVATION @ FINISH SIDEWALK GRADE

STORM DRAINAGE LEGEND

	PROPOSED HDPE STORM PIPE
	PROPOSED STORM PIPE TO TIE TO DOWNSPOUTS

SITE LAYOUT LEGEND

	COMBINATION CURB AND GUTTER
	CONCRETE SIDEWALK
	SEGMENTAL BLOCK RETAINING WALL
	4' (MIN) HIGH FENCE FOR FALL PROTECTION
	6" CONCRETE STEPS TO PORCH
	PROPOSED SIGNAGE

GENERAL ABBREVIATIONS

EX EXISTING	SMH SANITARY SEWER MANHOLE
PR PROPOSED	CC CONCRETE
QL GRATE INLET	CMP CORRUGATED METAL PIPE
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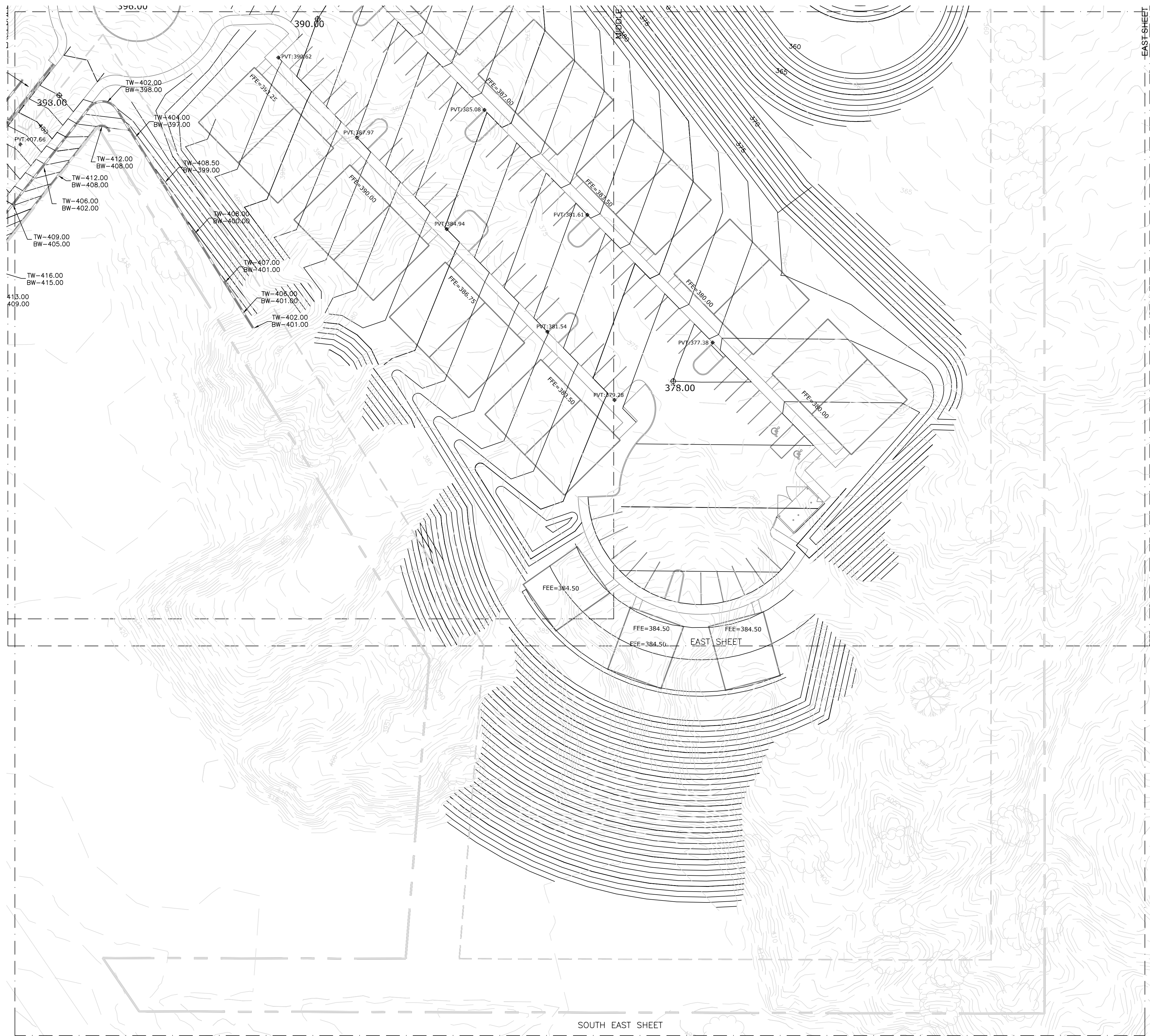
GRADING AND EROSION CONTROL - EAST FOR WELLINGTON PLACE

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EXISTING CONDITIONS LEGEND

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	PROPERTY SETBACK LINES
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EROSION CONTROL LEGEND

	TEMPORARY SILT FENCE
	200# RIP-RAP






GRADING LEGEND

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	PROPOSED 5' CONTOURS
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	SPOT ELEVATION @ BOTTOM OF CURB OR GUTTER LINE
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STORM DRAINAGE LEGEND

	PROPOSED HDPE STORM PIPE
	PROPOSED STORM PIPE TO TIE TO DOWNSPOUTS

SITE LAYOUT LEGEND

	COMBINATION CURB AND GUTTER
	CONCRETE SIDEWALK
	SEGMENTAL BLOCK RETAINING WALL
	4' (MIN) HIGH FENCE FOR FALL PROTECTION
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8. CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES FOR THE ENTIRE LENGTH OF THE PROJECT.
9. THE CONTRACTOR SHALL BE RESPONSIBLE MEETING AND MAINTAINING ALL REQUIREMENTS OF THE MDEQ SMALL CONSTRUCTION GENERAL PERMIT AND SMALL CONSTRUCTION NOTICE OF INTENT. THIS INCLUDES, BUT IS NOT LIMITED TO ALL NECESSARY EROSION CONTROL INSPECTIONS AND FORMS AS SPECIFIED BY MDEQ. THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND MDEQ CONSTRUCTION GENERAL PERMIT WILL BE INITIALLY PROVIDED BY THE ENGINEER, BUT SHALL BE MAINTAINED BY THE CONTRACTOR. THE CONTRACTOR SHALL NOT START ANY CONSTRUCTION ACTIVITY ON THE SITE UNTIL ALL ONSITE REPRESENTATIVES OF THE CONTRACTOR HAVE A COPY OF THE SWPPP AND MDEQ SMALL CONSTRUCTION GENERAL PERMIT IN HAND.
10. CONTRACTOR SHALL MAINTAIN ADEQUATE EROSION CONTROL ALONG ALL UTILITY TRENCHES.
11. ALL INLETS ARE TO BE PROTECTED BY 12" WATTLE (SEE MDOT INLET PROTECTION TYPICAL APPLICATION AND DETAIL).

PLAN NOTES (GRADING)

1. MINIMUM SLOPE ON ALL UNPAVED AREAS SHALL BE NO LESS THAN 2%.
2. MAXIMUM SLOPE AT SIDEWALKS SHALL BE 1:20 IN THE DIRECTION OF TRAVEL FOR ALL ADA ACCESSIBLE ROUTES UNLESS OTHERWISE NOTED.
3. MAXIMUM CROSS SLOPE AT SIDEWALKS SHALL BE 1:50 PERPENDICULAR TO THE DIRECTION OF TRAVEL UNLESS OTHERWISE NOTED. REVIEW ALL CONDITIONS WITH ARCHITECT ON SITE PRIOR TO INSTALLATION.
4. ALL SPOT ELEVATIONS ON DRIVES, PARKING LOTS, AND SIDEWALKS ARE TO FINISH PAVEMENT GRADE.
5. CONTRACTOR SHALL PROVIDE AN ECCAVATION PLAN FOR ANY RETAINING WALL REQUIRING AND ECCAVATION OF GREATER THAN 4 FEET. ECCAVATION PLAN SHALL INCLUDE: DISTANCE FROM BACK OF GEOGRID TO PROPERTY LINE AND/OR EXISTING IMPROVEMENTS. ECCAVATION PLAN SHALL INCLUDE THE PROPOSED SLOPE OF THE ECCAVATION FROM BOTTOM OF ECCAVATION TO TOP OF ECCAVATION.
6. ECCAVATION PLANS FOR ECCAVATIONS GREATER THAN 19 FEET IN HEIGHT OR ECCAVATIONS REQUIRING A SLOPE GREATER THAN 1:1 (H:V) SHALL BE STAMPED BY A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF WALL INSTALLATION.



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FAX: (662) 234-8639

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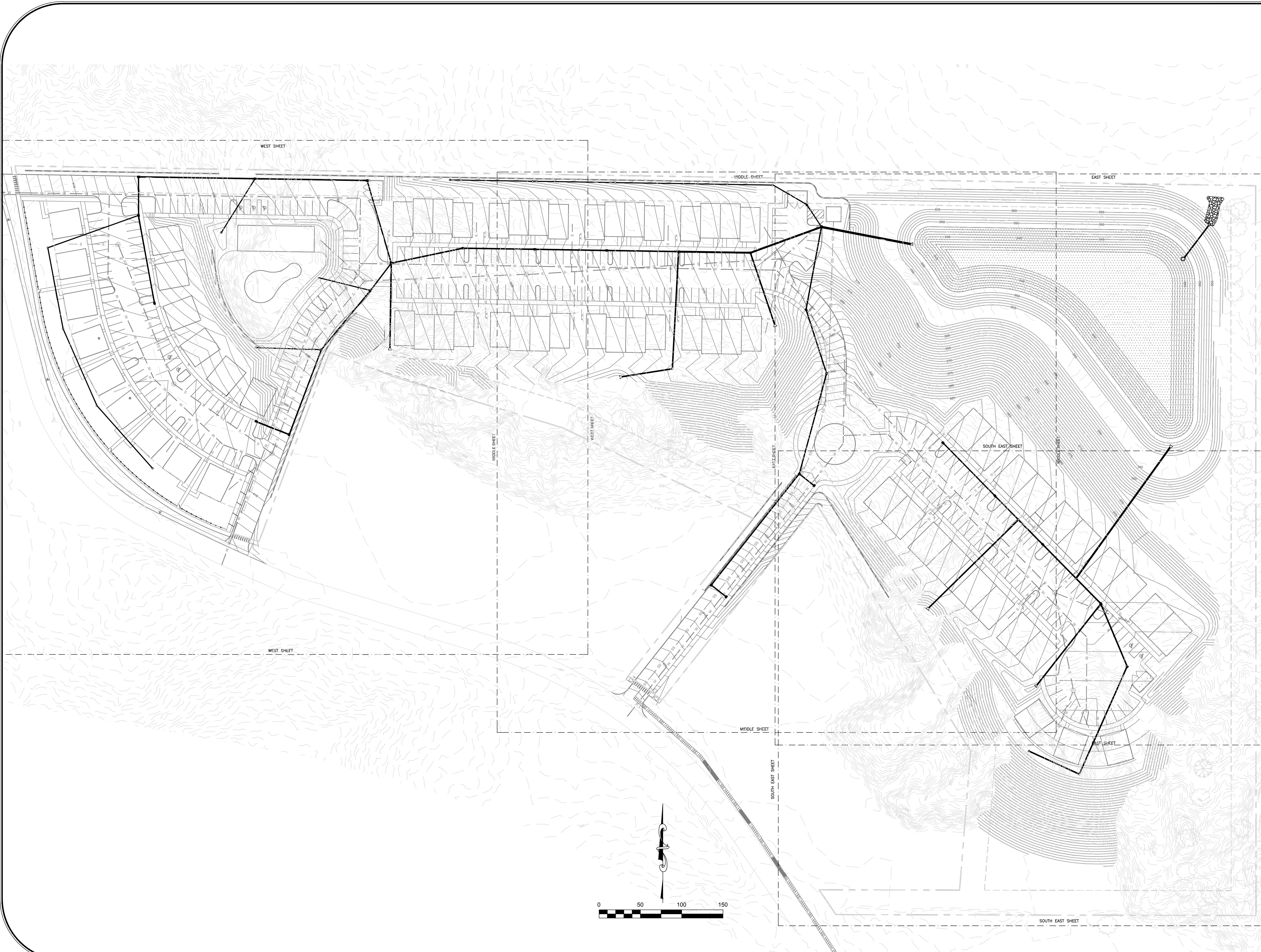
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GRADING AND EROSION CONTROL FOR WELLINGTON PLACE

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2	6/5/17	THIRD SUBMITTAL	LM
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NO.:	DATE:	REVISIONS:	BY:
NO.:	DATE:	REVISIONS:	BY:
NO.:	DATE:	REVISIONS:	BY:

STORM DRAINAGE - OVERALL
FOR
WELLINGTON PLACE

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7159	

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PAGE NO.:

C300



EXISTING CONDITIONS LEGEND

- PROPERTY LINE
- ADJOINING PROPERTY LINE
- PROPERTY SETBACK LINES
- EASEMENT LINE
- OHE EXISTING OVERHEAD ELECTRIC LINES
- EXISTING 1' CONTOUR
- EXISTING 5' CONTOUR
- PROPERTY CORNERS
- EXISTING MONUMENTS
- POWER POLES

GRADING LEGEND

- PROPOSED 1' CONTOUR
- PROPOSED 5' CONTOURS
- PVT: [Symbol] SPOT ELEVATION @ FINISH PAVEMENT GRADE
- BC: [Symbol] SPOT ELEVATION @ BOTTOM OF CURB OR GUTTER LINE
- G: [Symbol] SPOT ELEVATION @ FINISH DIRT GRADE
- SW: [Symbol] SPOT ELEVATION @ FINISH SIDEWALK GRADE

STORM DRAINAGE LEGEND

- PROPOSED HDPE STORM PIPE
- PROPOSED STORM PIPE TO TIE TO DOWNSPOUTS

SANITARY SEWER LEGEND

- S PROPOSED SDR 26 PVC SEWER LINE
- [Symbol] PROPOSED 48" PRECAST SEWER MAN HOLE

POTABLE WATER LEGEND

- W PROPOSED WATER MAIN OR SERVICE LINE
- [Symbol] PROPOSED 6" FIRE HYDRANT
- [Symbol] PROPOSED FDC
- [Symbol] PROPOSED METER BANK
- [Symbol] MECHANICAL JOINT
- [Symbol] 8" VALVE AND BOX

SITE LAYOUT LEGEND

- COMBINATION CURB AND GUTTER
- CONCRETE SIDEWALK
- SEGMENTAL BLOCK RETAINING WALL
- 4' (MIN) HIGH FENCE FOR FALL PROTECTION
- 6" CONCRETE STEPS TO PORCH
- PROPOSED SIGNAGE

GENERAL ABBREVIATIONS

- | | |
|-----------------------------------|----------------------------|
| EX EXISTING | SMH SANITARY SEWER MANHOLE |
| PR PROPOSED | CC CONCRETE |
| QI GRATE INLET | CMP CORRUGATED METAL PIPE |
| AI AREA INLET | DI DUCTILE IRON |
| CI CURB INLET | MJ MECHANICAL JOINT |
| FEB FLARED END SECTION | HC HANDICAP |
| DS DOWNSPOUT | NIC NOT IN CONTRACT |
| TW FINISH GRADE AT TOP OF WALL | |
| BW FINISH GRADE AT BOTTOM OF WALL | |
| HD HIGH DENSITY POLYETHYLENE | |
| FFE FINISHED FLOOR ELEVATION | |
| HD/FDC FIRE DEPARTMENT CONNECTION | |

PLAN NOTES



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NO.	DATE	REVISIONS	BY:
NO.	DATE	REVISIONS	BY:
NO.	DATE	REVISIONS	BY:

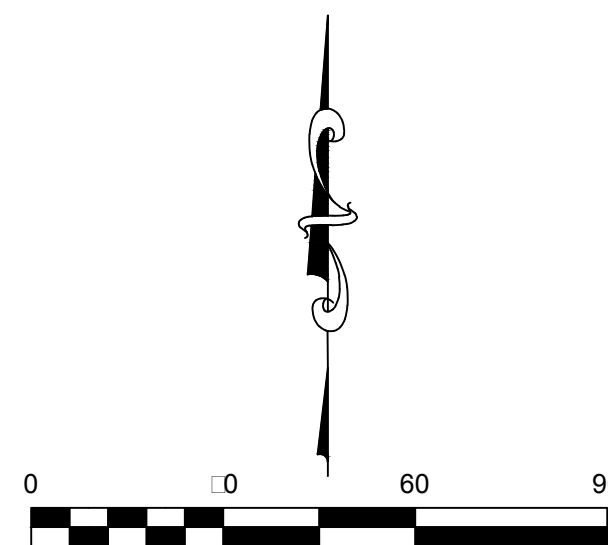
STORM DRAINAGE - WEST
FOR
WELLINGTON PLACE

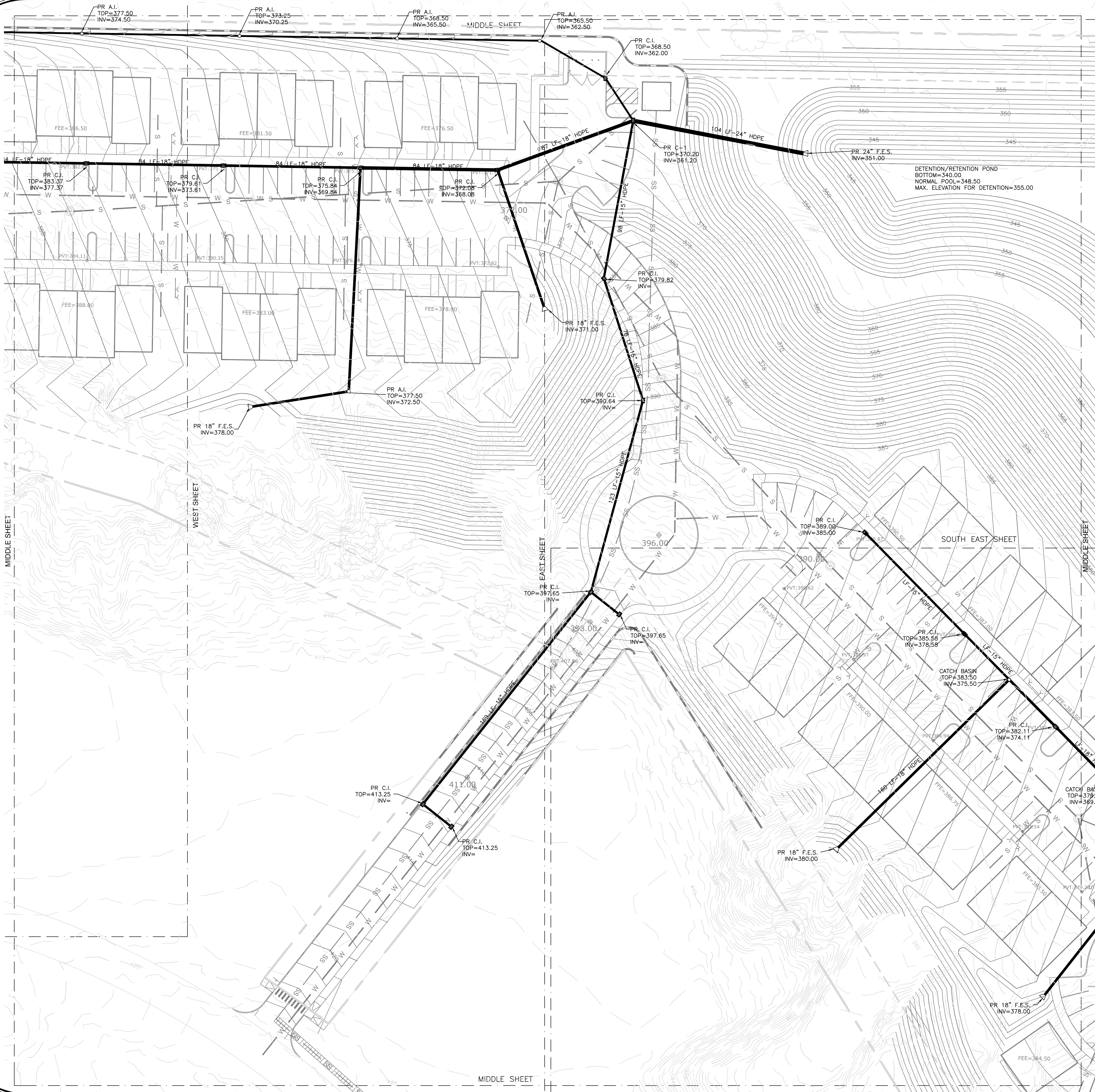
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C301





EXISTING CONDITIONS LEGEND

- PROPERTY LINE
- ADJOINING PROPERTY LINE
- PROPERTY SETBACK LINES
- EASEMENT LINE
- EXISTING OVERHEAD ELECTRIC LINES
- EXISTING 1" CONTOUR
- EXISTING 5' CONTOUR
- PROPERTY CORNERS
- EXISTING MONUMENTS
- POWER POLES

GRADING LEGEND

- PROPOSED 1" CONTOUR
- PROPOSED 5' CONTOURS
- PVT: [] SPOT ELEVATION @ FINISH PAVEMENT GRADE
- BC: [] SPOT ELEVATION @ BOTTOM OF CURB OR GUTTER LINE
- G: [] SPOT ELEVATION @ FINISH DIRT GRADE
- SW: [] SPOT ELEVATION @ FINISH SIDEWALK GRADE

STORM DRAINAGE LEGEND

- PROPOSED HDPE STORM PIPE
- PROPOSED STORM PIPE TO TIE TO DOWNSPOUTS

SANITARY SEWER LEGEND

- S PROPOSED SDR 26 PVC SEWER LINE
- PROPOSED 48" PRECAST SEWER MAN HOLE

POTABLE WATER LEGEND

- W PROPOSED WATER MAIN OR SERVICE LINE
- PROPOSED 6" FIRE HYDRANT
- PROPOSED FDC
- PROPOSED METER BANK
- MECHANICAL JOINT
- 8" VALVE AND BOX

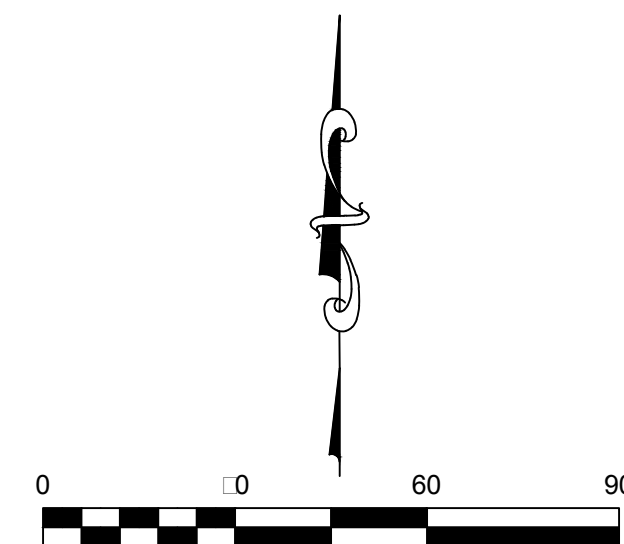
SITE LAYOUT LEGEND

- COMBINATION CURB AND GUTTER
- CONCRETE SIDEWALK
- SEGMENTAL BLOCK RETAINING WALL
- 4" (MIN) HIGH FENCE FOR FALL PROTECTION
- 6" CONCRETE STEPS TO PORCH
- PROPOSED SIGNAGE

GENERAL ABBREVIATIONS

- | | | | |
|--------|--------------------------------|-----|------------------------|
| EX | EXISTING | SMH | SANITARY SEWER MANHOLE |
| PR | PROPOSED | CC | CONCRETE |
| QI | GRATE INLET | CMP | CORRUGATED METAL PIPE |
| AI | AREA INLET | DI | DUCTILE IRON |
| CI | CURB INLET | MJ | MECHANICAL JOINT |
| FES | FLARED END SECTION | HC | HANDICAP |
| DS | DOWNSPOUT | NIC | NOT IN CONTRACT |
| TW | FINISH GRADE AT TOP OF WALL | | |
| BW | FINISH GRADE AT BOTTOM OF WALL | | |
| HDP | HIGH DENSITY POLYETHYLENE | | |
| FEE | FINISHED FLOOR ELEVATION | | |
| HD/FEC | FIRE DEPARTMENT CONNECTION | | |

PLAN NOTES



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STORM DRAINAGE - MIDDLE

FOR

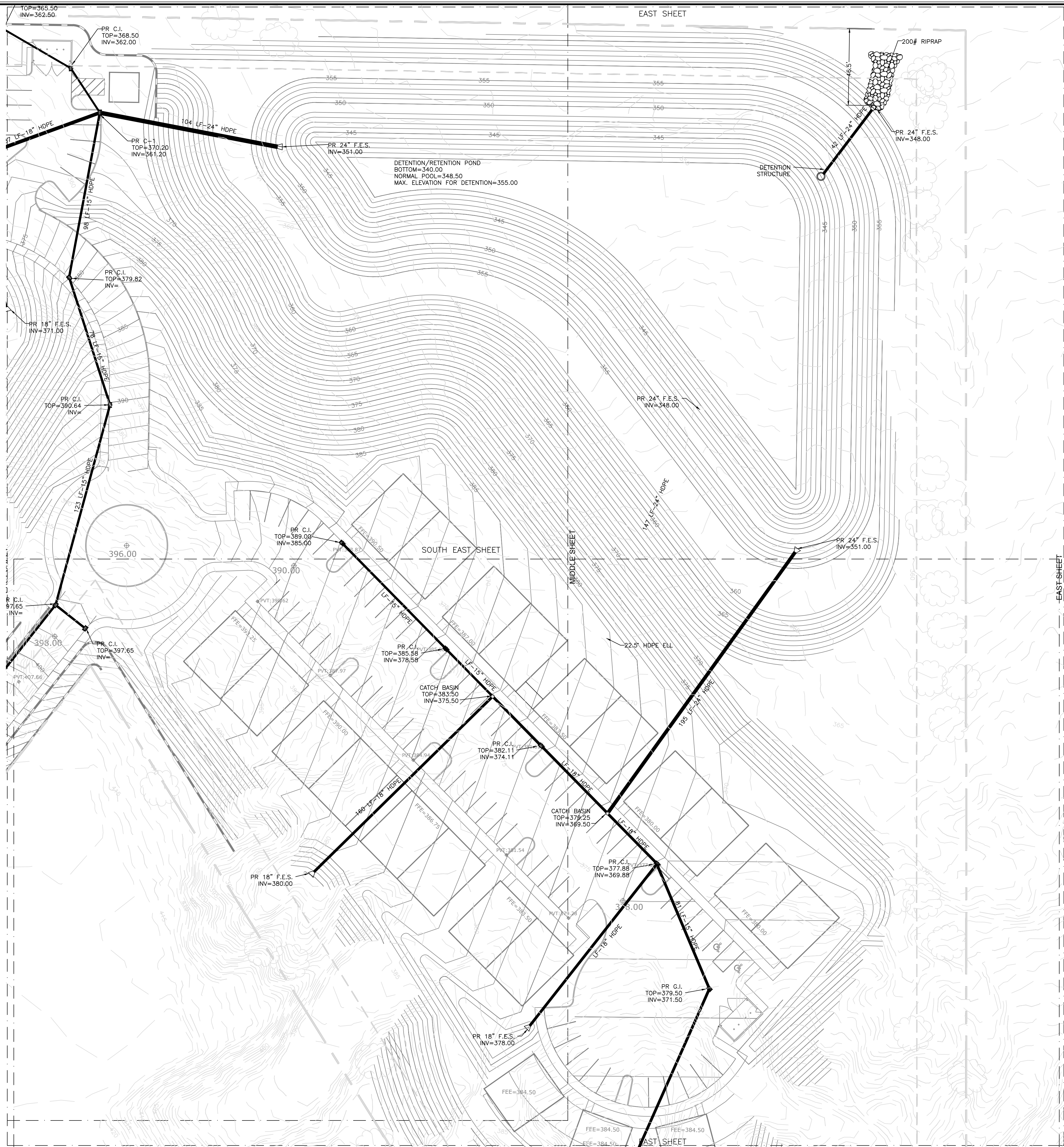
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EXISTING CONDITIONS LEGEND

- PROPERTY LINE
- ADJOINING PROPERTY LINE
- PROPERTY SETBACK LINES
- EASEMENT LINE
- OHE EXISTING OVERHEAD ELECTRIC LINES
- SS EXISTING 1" CONTOUR
- SS EXISTING 5' CONTOUR
- PROPERTY CORNERS
- EXISTING MONUMENTS
- POWER POLES

GRADING LEGEND

- PROPOSED 1" CONTOUR
- PROPOSED 5' CONTOURS
- PVT: [] SPOT ELEVATION @ FINISH PAVEMENT GRADE
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STORM DRAINAGE LEGEND

- PROPOSED HDPE STORM PIPE
- PROPOSED STORM PIPE TO TIE TO DOWNSPOUTS

SANITARY SEWER LEGEND

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POTABLE WATER LEGEND

- W PROPOSED WATER MAIN OR SERVICE LINE
- PROPOSED 6" FIRE HYDRANT
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- PROPOSED METER BANK
- MECHANICAL JOINT
- 8" VALVE AND BOX

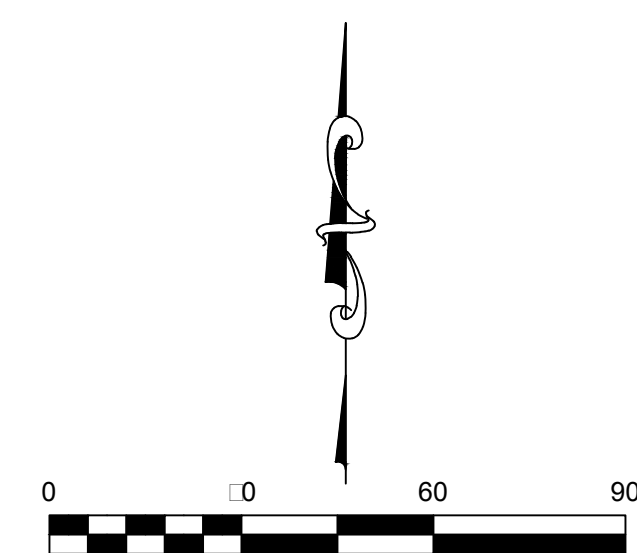
SITE LAYOUT LEGEND

- COMBINATION CURB AND GUTTER
- CONCRETE SIDEWALK
- SEGMENTAL BLOCK RETAINING WALL
- 4" (MIN) HIGH FENCE FOR FALL PROTECTION
- 6" CONCRETE STEPS TO PORCH
- PROPOSED SIGNAGE

GENERAL ABBREVIATIONS

- | | |
|-----------------------------------|----------------------------|
| EX EXISTING | SMH SANITARY SEWER MANHOLE |
| PR PROPOSED | CC CONCRETE |
| QI GRATE INLET | CMR CORRUGATED METAL PIPE |
| AI AREA INLET | DI DUCTILE IRON |
| CI CURB INLET | MJ MECHANICAL JOINT |
| FEB FLARED END SECTION | HC HANDICAP |
| DS DOWNSPOUT | NIC NOT IN CONTRACT |
| TW FINISH GRADE AT TOP OF WALL | |
| BW FINISH GRADE AT BOTTOM OF WALL | |
| HDP HIGH DENSITY POLYETHYLENE | |
| FFE FINISHED FLOOR ELEVATION | |
| HD/FC FIRE DEPARTMENT CONNECTION | |

PLAN NOTES



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NO.	DATE	REVISIONS	BY:
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STORM DRAINAGE - EAST
FOR
WELLINGTON PLACE

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C303



C304



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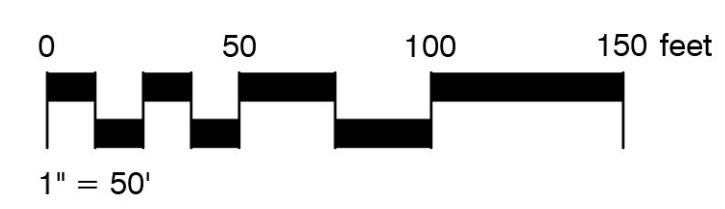
RENDERED SITE PLAN

FOR

WELLINGTON PLACE

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SLA
Sloan Landscape Architecture
P O Box 311, Tupelo, MS 38802
shipmansloan@gmail.com
662-610-5588



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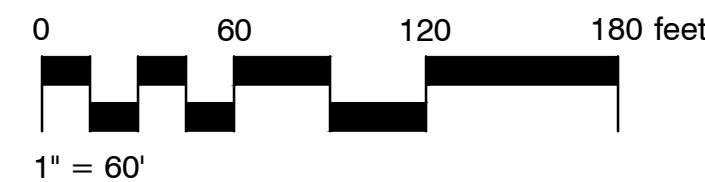
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DRAWING NO.: 159		

PAGE NO.:

L101



1. A Planting Plan is to be included in the construction documents with detailed planting for each residential housing unit, the pool house and focal landscape planting located throughout the site. The intent of this plan is to satisfy the City of Oxford's Landscaping Requirements.
2. Tree locations indicated are based on spacing as required by the City of Oxford Landscaping Requirements. Field adjustments may be necessary as to not conflict with utilities, overhead site lighting, and other site related elements. Any changes will need prior approval by the landscape architect.
3. Contractor is to identify and clearly mark all utilities prior to work. Trees and shrubs are not to be planted in locations as to conflict with utilities. Any damage to utilities shall be the contractors responsibility to repair or replace at no additional cost to the owner.



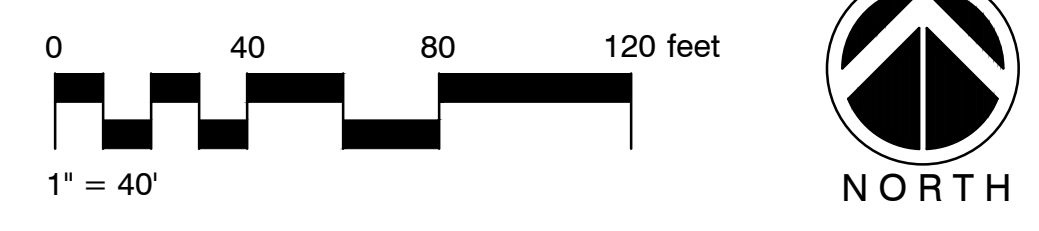
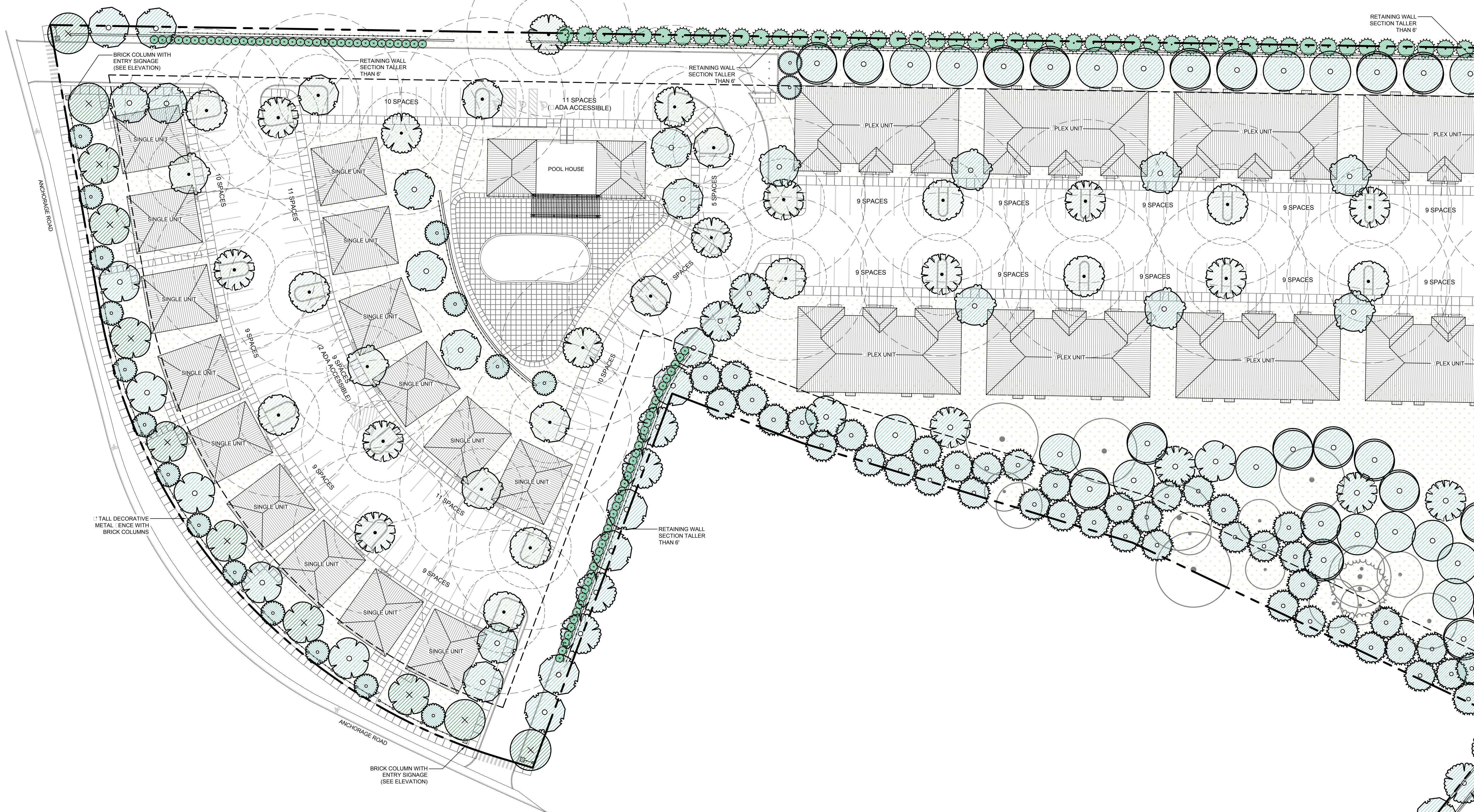


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NO. 4	DATE:	REVISIONS:	BY:
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LANDSCAPE PLAN - WEST
FOR
WELLINGTON PLACE



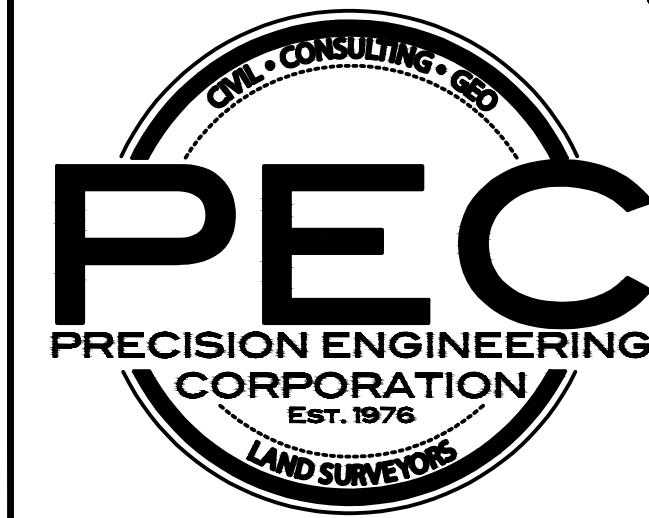
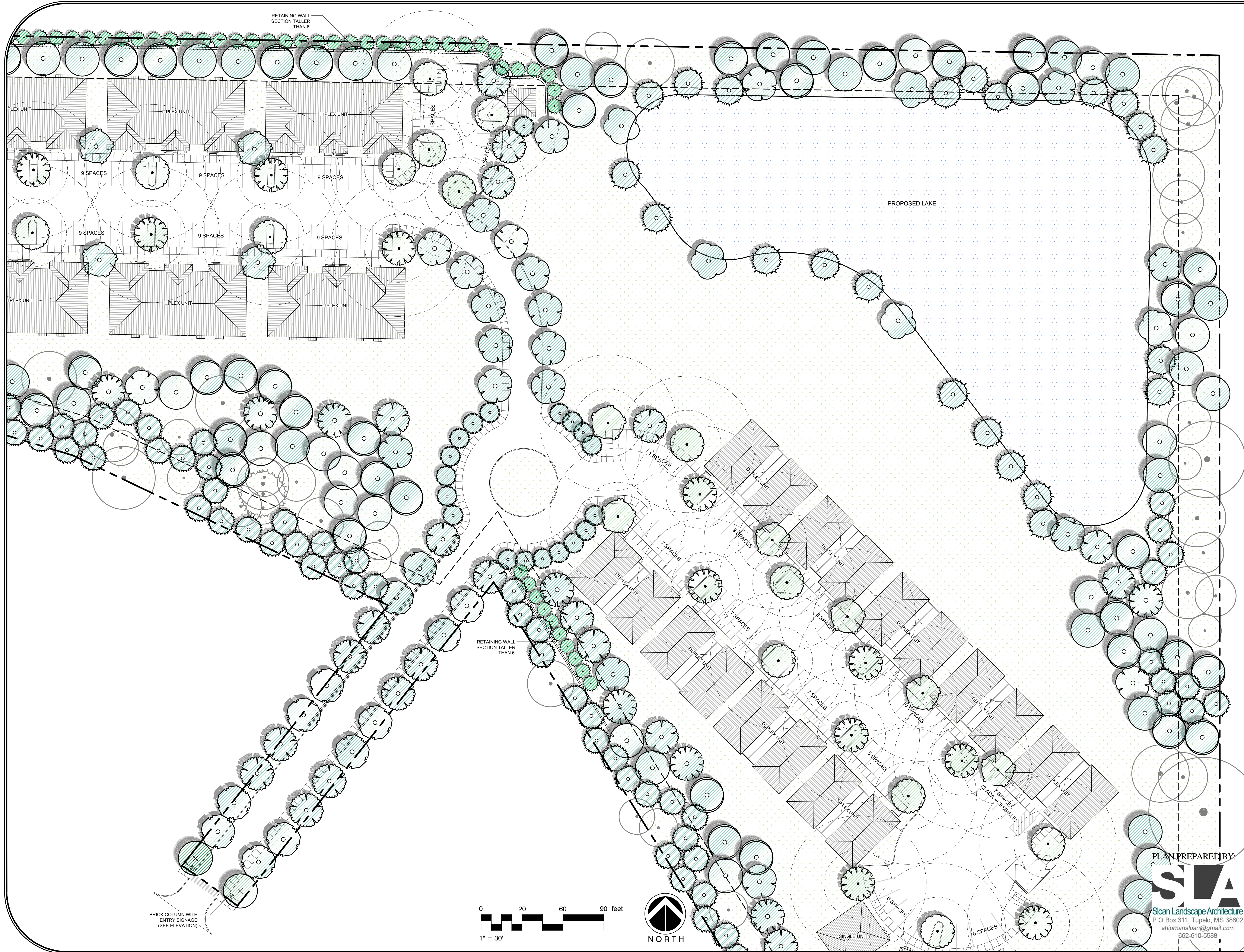
1 4' DECORATIVE FENCE WITH BRICK COLUMNS ELEVATION
1/8" = 1'-0"

PLAN PREPARED BY:
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shipmansloan@gmail.com
662-610-5588

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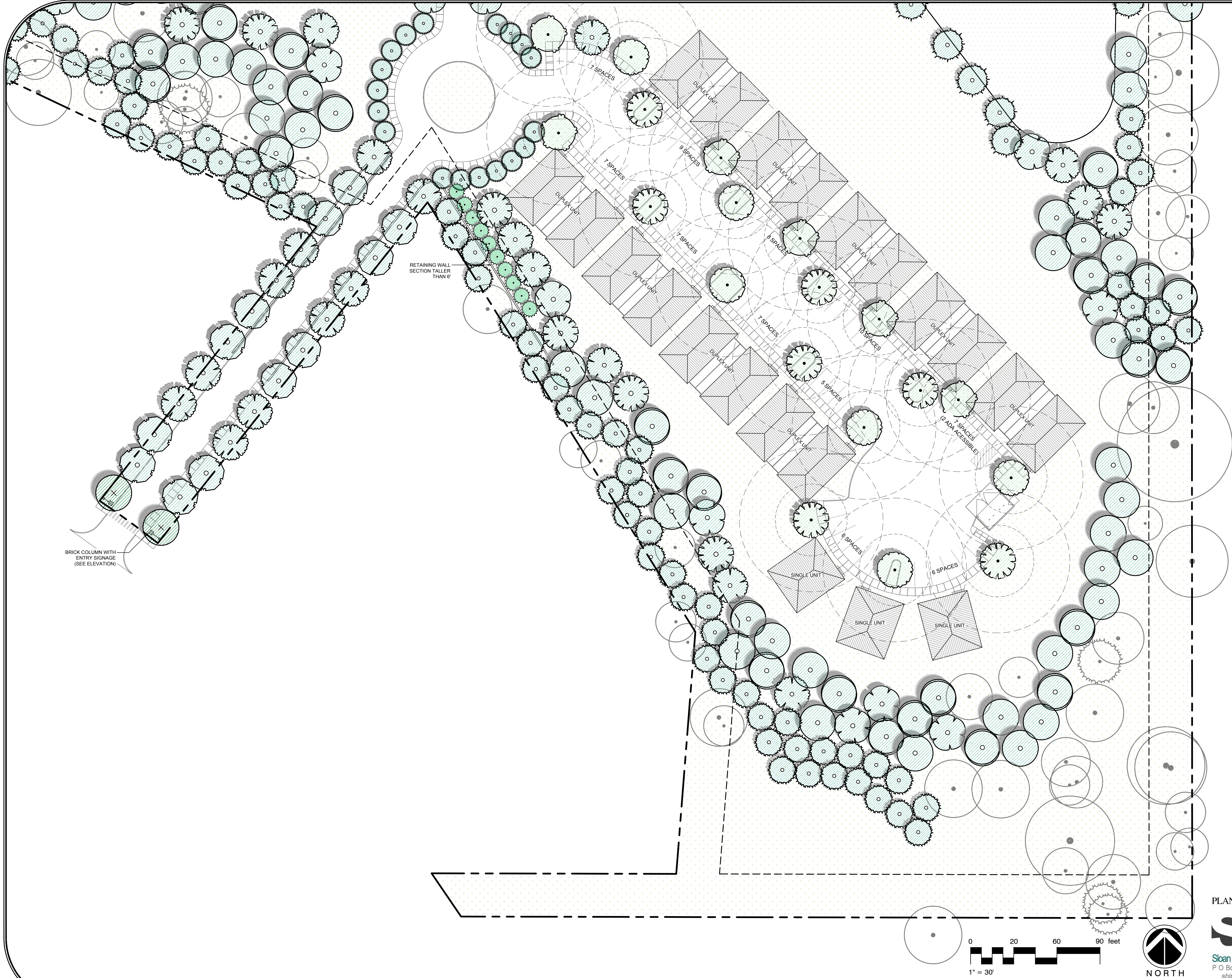
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NO. 4	DATE:	REVISIONS:	BY:	
NO. 5	DATE:	REVISIONS:	BY:	

LANDSCAPE PLAN - EAST FOR WELLINGTON PLACE

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NO.:	DATE:	REVISIONS:	BY:
NO.:	DATE:	REVISIONS:	BY:
NO.:	DATE:	REVISIONS:	BY:
NO.:	DATE:	REVISIONS:	BY:

LANDSCAPE PLAN - SOUTH

FOR

WELLINGTON PLACE

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DRAWING NO.:	7159		

PLAN PREPARED BY:

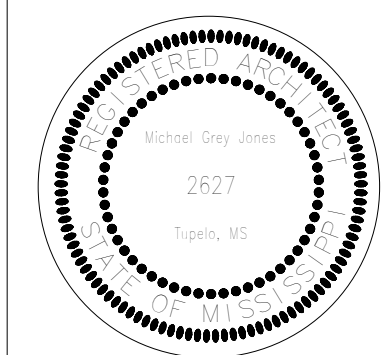


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shipmansloan@gmail.com
662-610-5588

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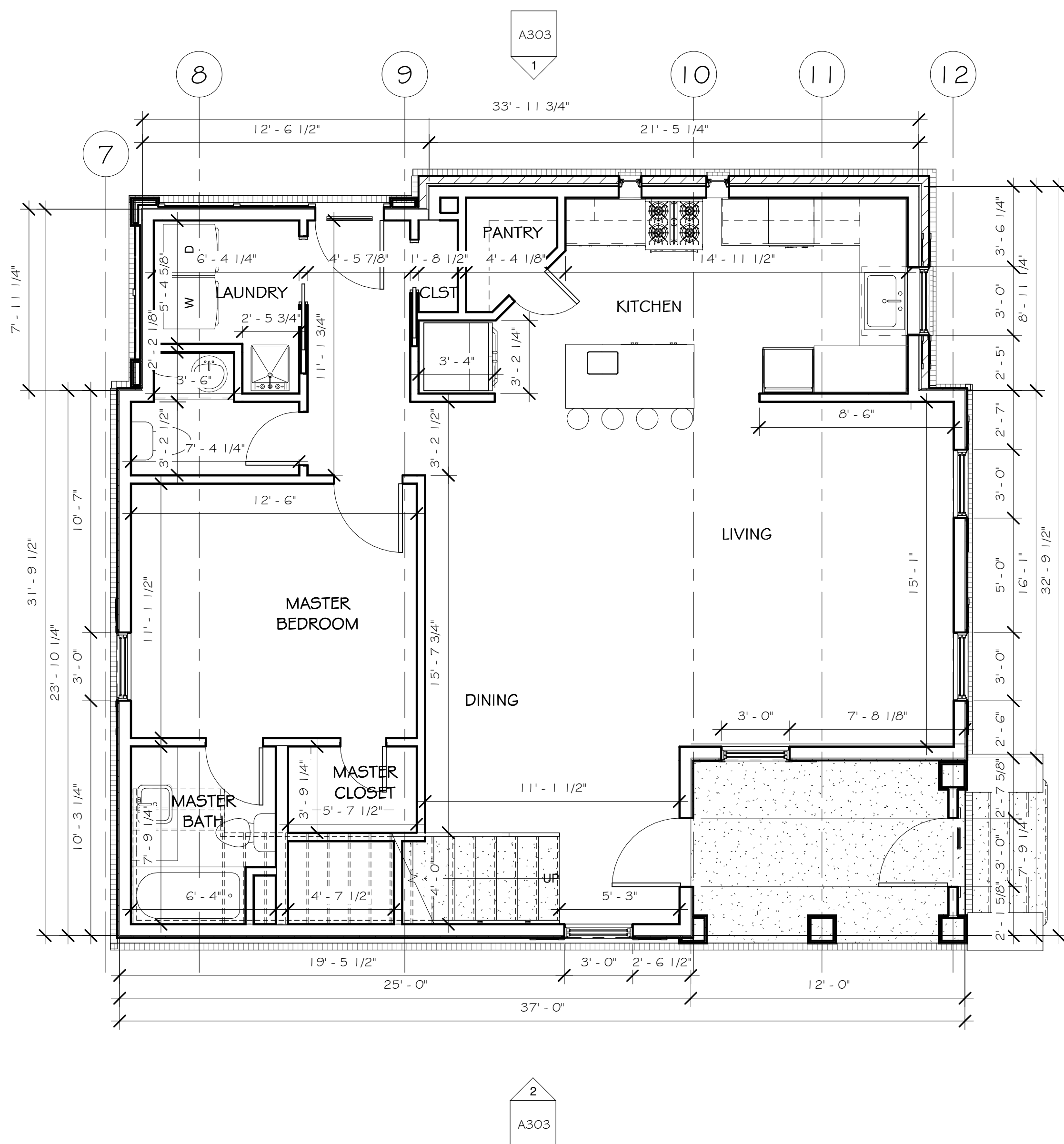
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Oxford, Ms

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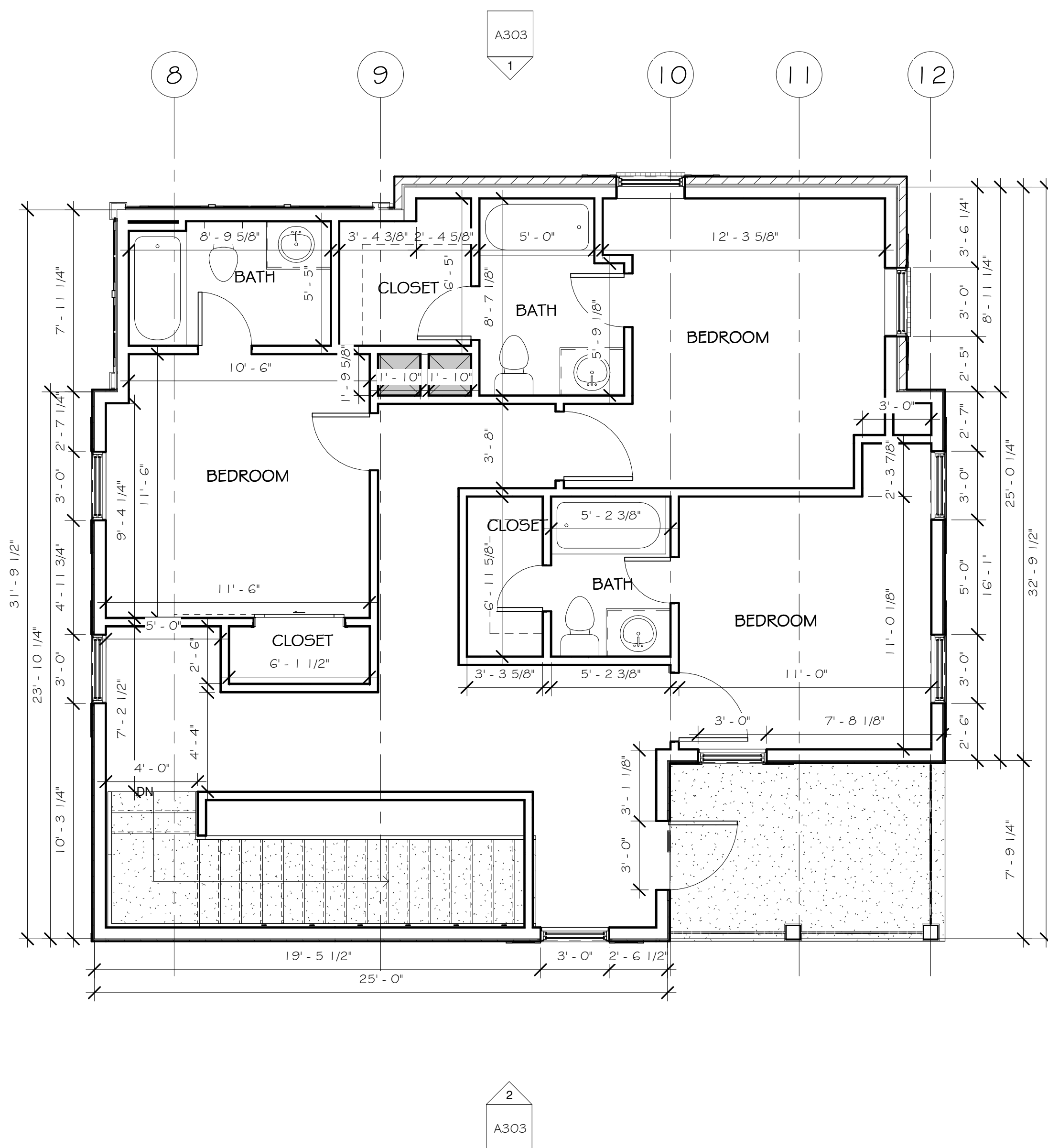
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DATE: February, 2017
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A104

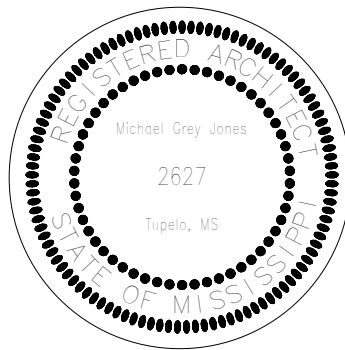
17001



① 1ST FLOOR
1/4" = 1'-0"



② 2ND FLOOR
1/4" = 1'-0"



REVISION

NO.	DESCRIPTION

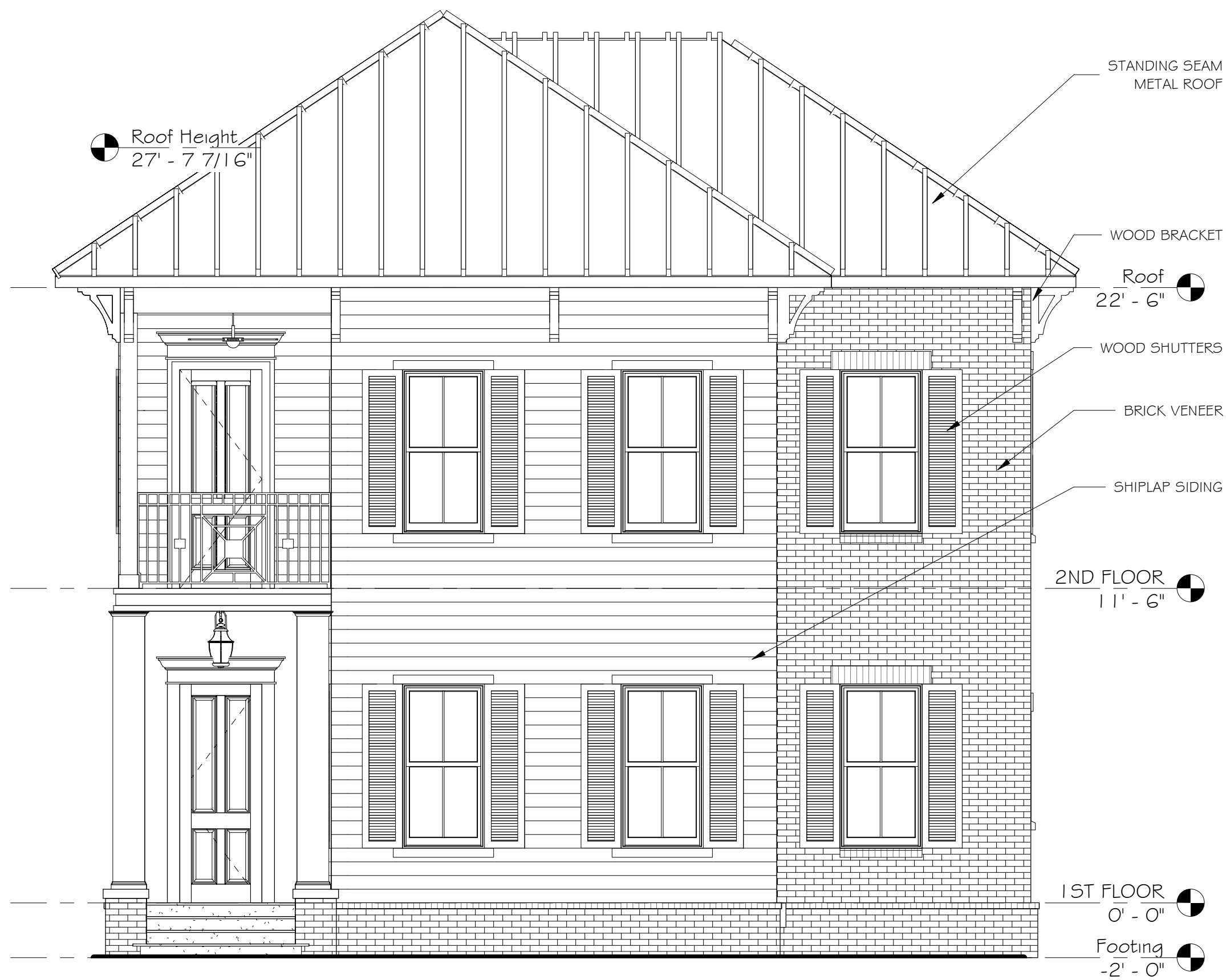
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A302

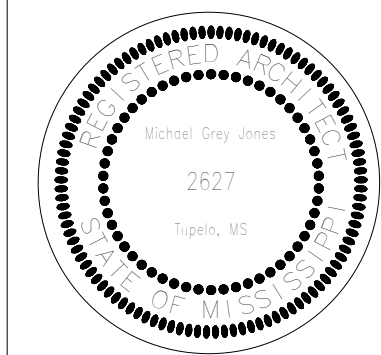
17001



① FRONT ELEVATION
1/4" = 1'-0"



② BACK ELEVATION
1/4" = 1'-0"



REVISION

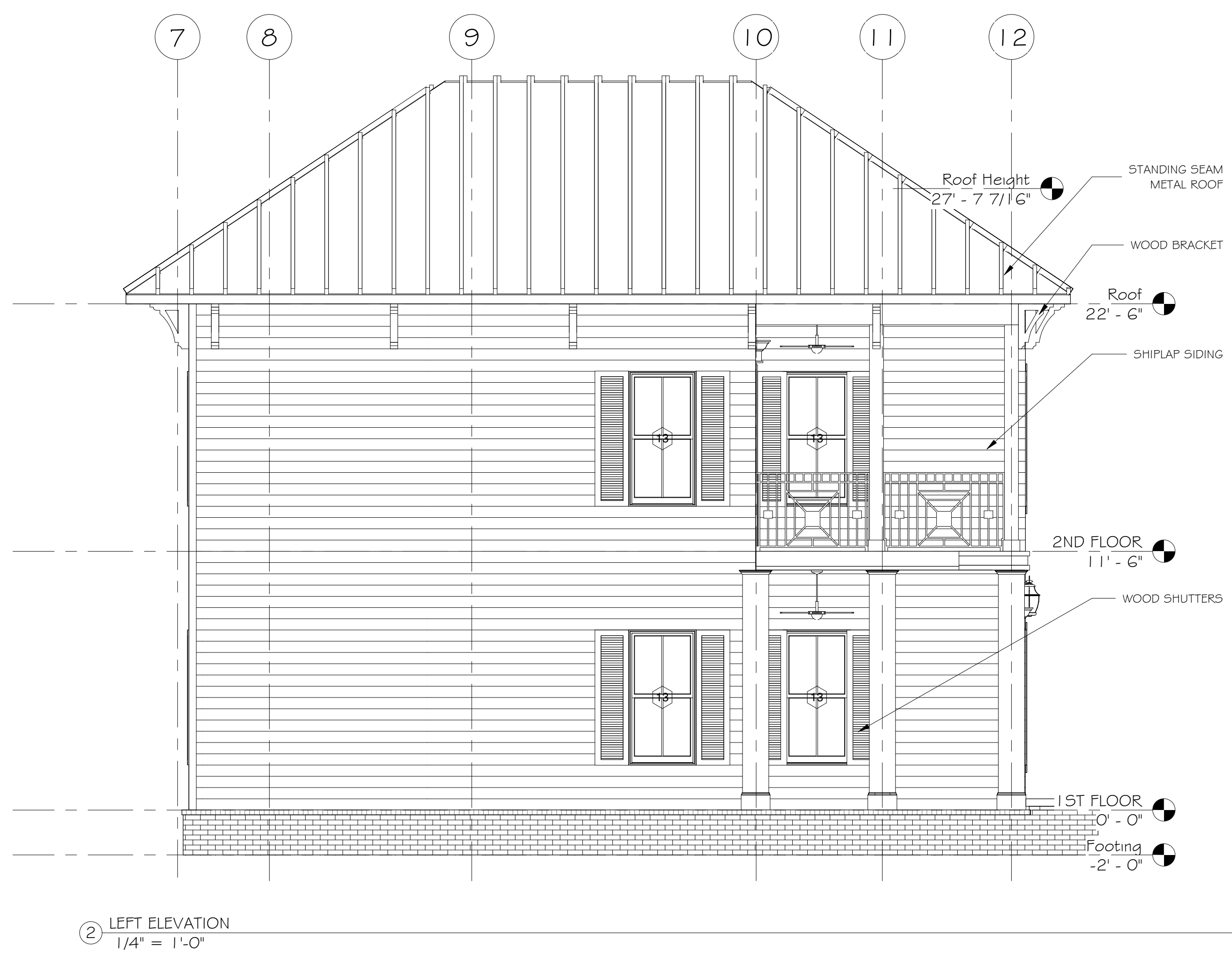
Wellington Court
Oxford, Ms

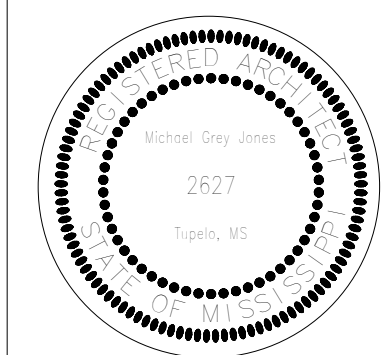
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A303

17001





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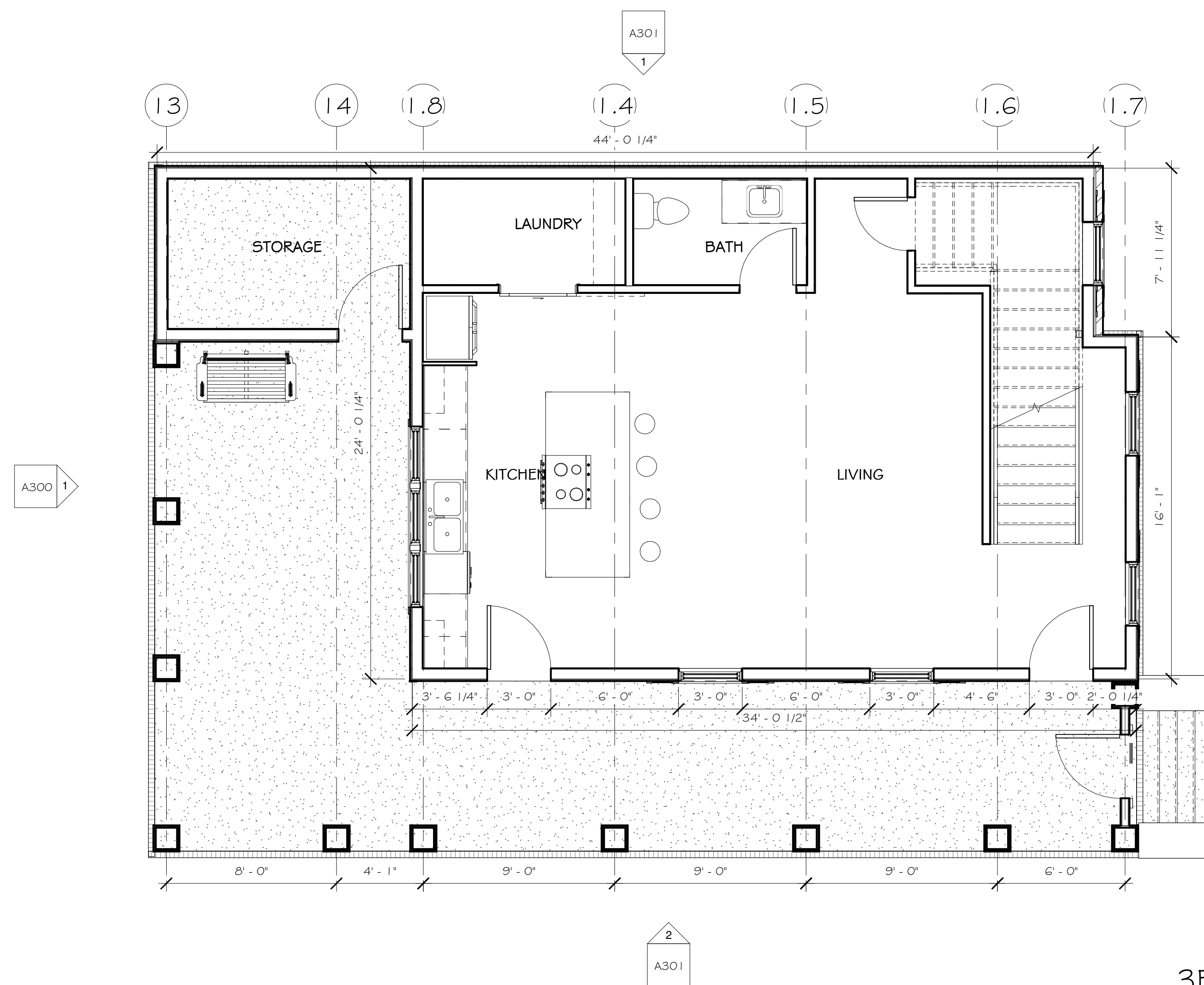
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Oxford, Ms

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NUMBER: 17001
DATE: February, 2017
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CHECKED: MGJ

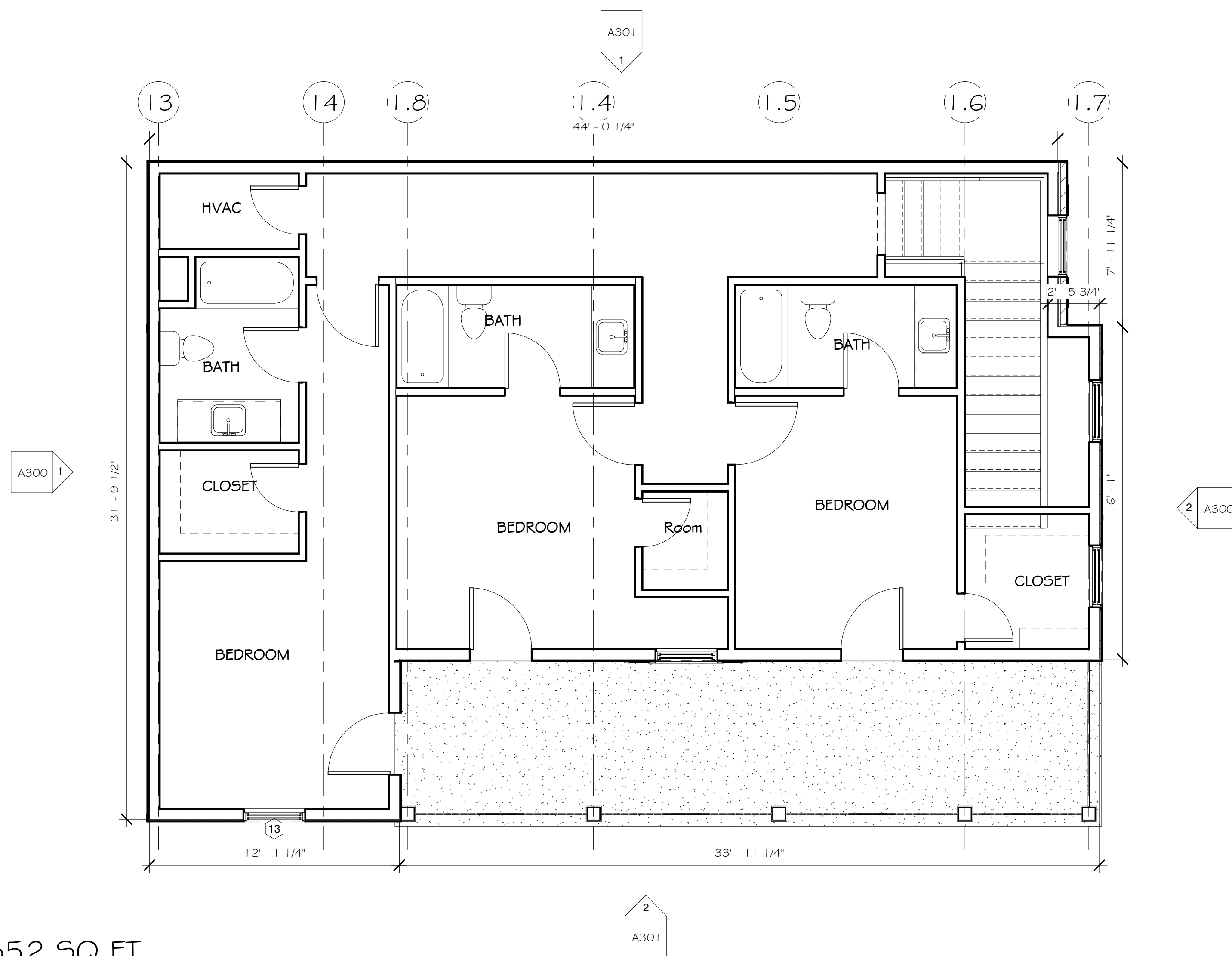
A101

17001



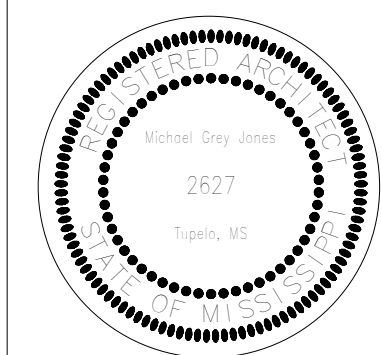
3BR UNIT 1,852 SQ FT

① 1ST FLOOR 3BR
1/4" = 1'-0"



② 2ND FLOOR 3BR
1/4" = 1'-0"

4 BEDROOM UNIT 2,4



REVISION

NO.	DESCRIPTION

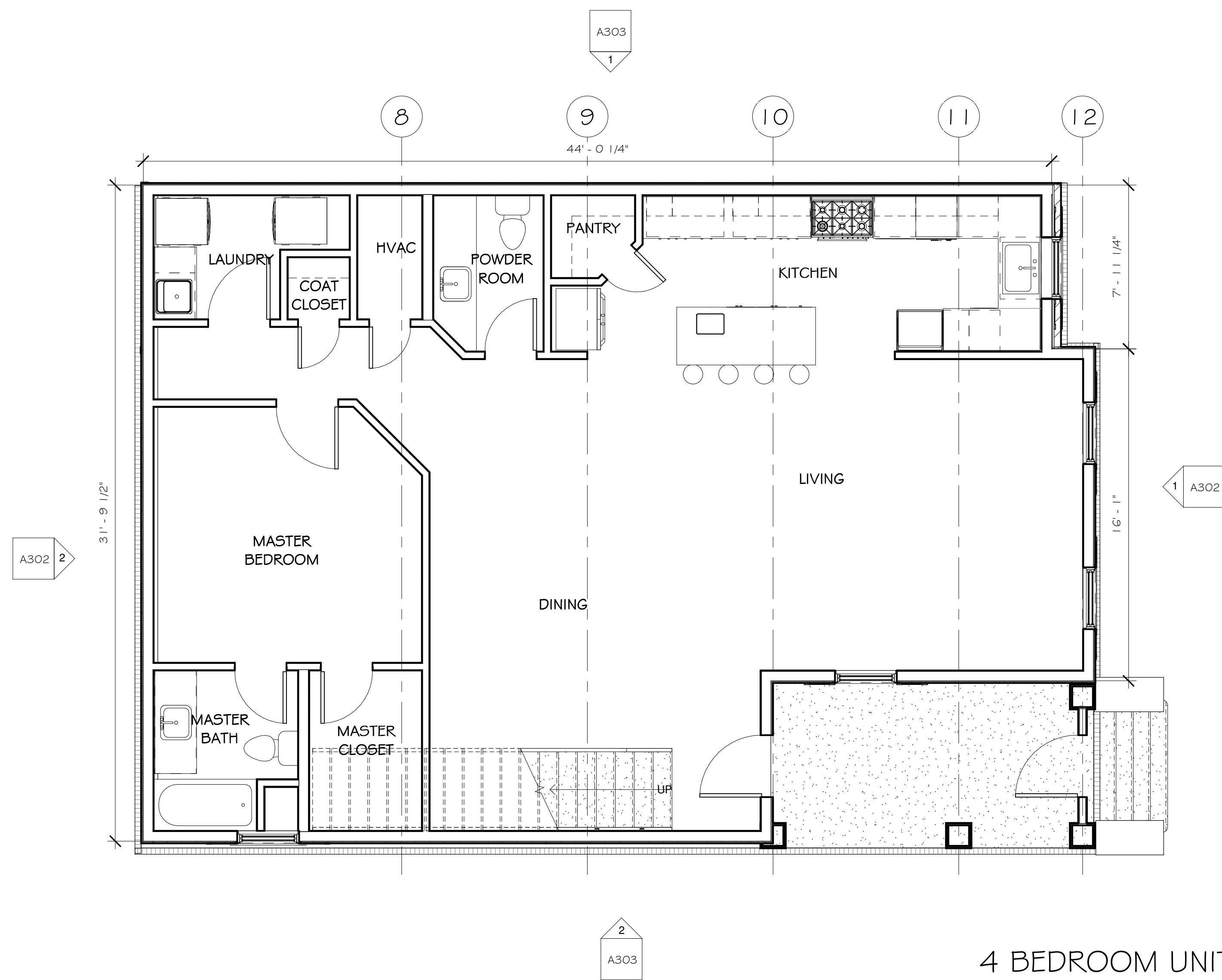
Wellington Court
Oxford, Ms

SD

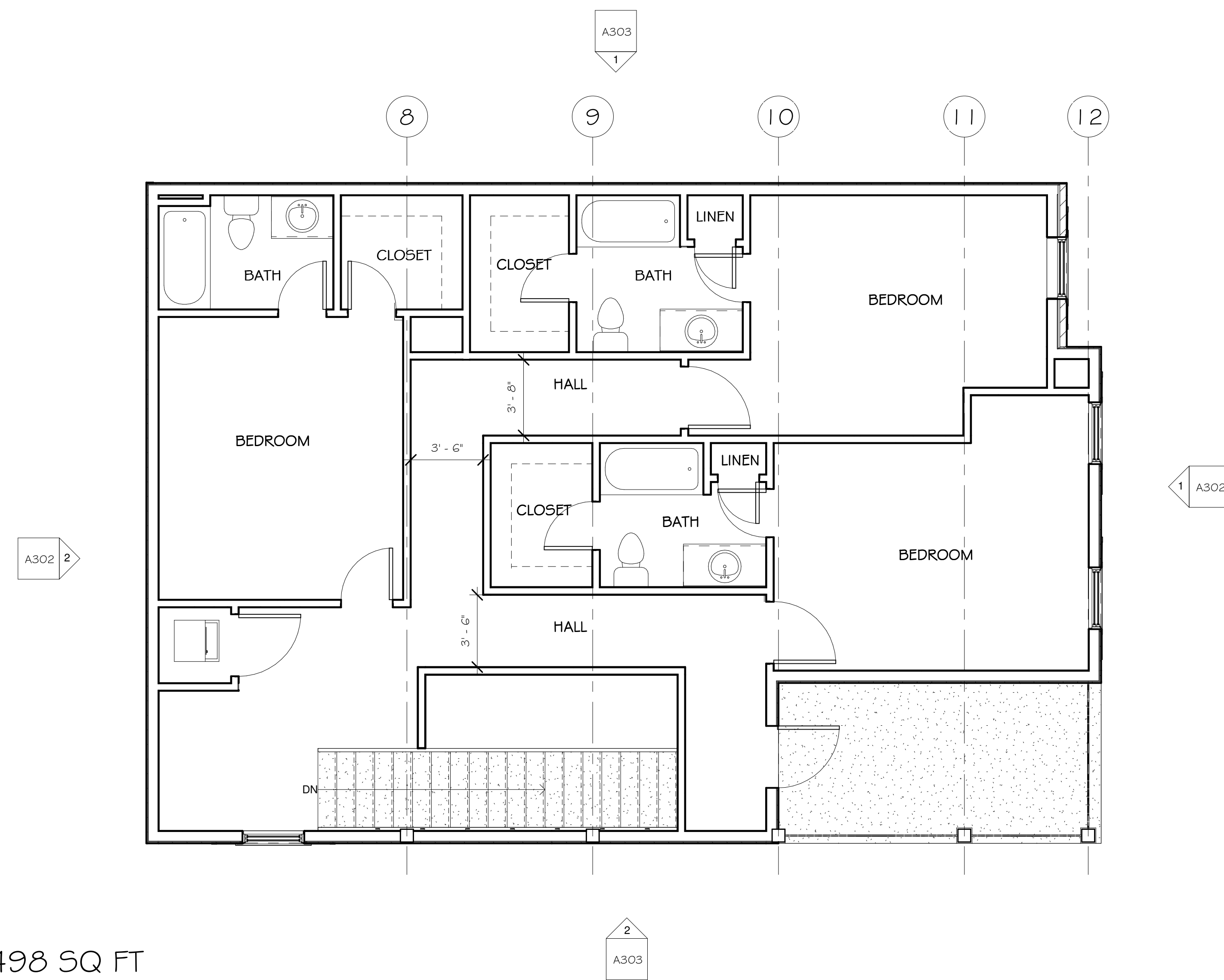
NUMBER: 17001
DATE: February, 2017
DRAWN: FMJ
CHECKED: MGJ

A104

17001



① 1ST FLOOR 4BR
1/4" = 1'-0"



② 2ND FLOOR 4BR
1/4" = 1'-0"

4 BEDROOM UNIT 2,498 SQ FT



② 1/4" = 1'-0"



○ 1/4" = 1'-0"

SOZO
ARCHITECTURE

MICHAEL GREY JONES, AIA, LEED AP

P.O. Box 393
Oxford, MS 38655
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FX: (662) 803-5690
mjones@sozoarch.com



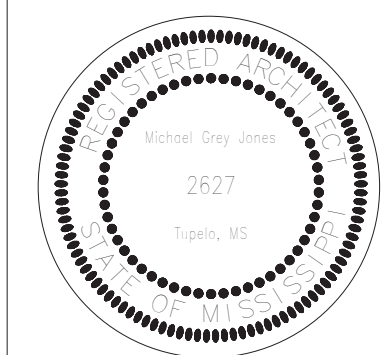
REVISION

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DATE: February, 2017
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A302



REVISION

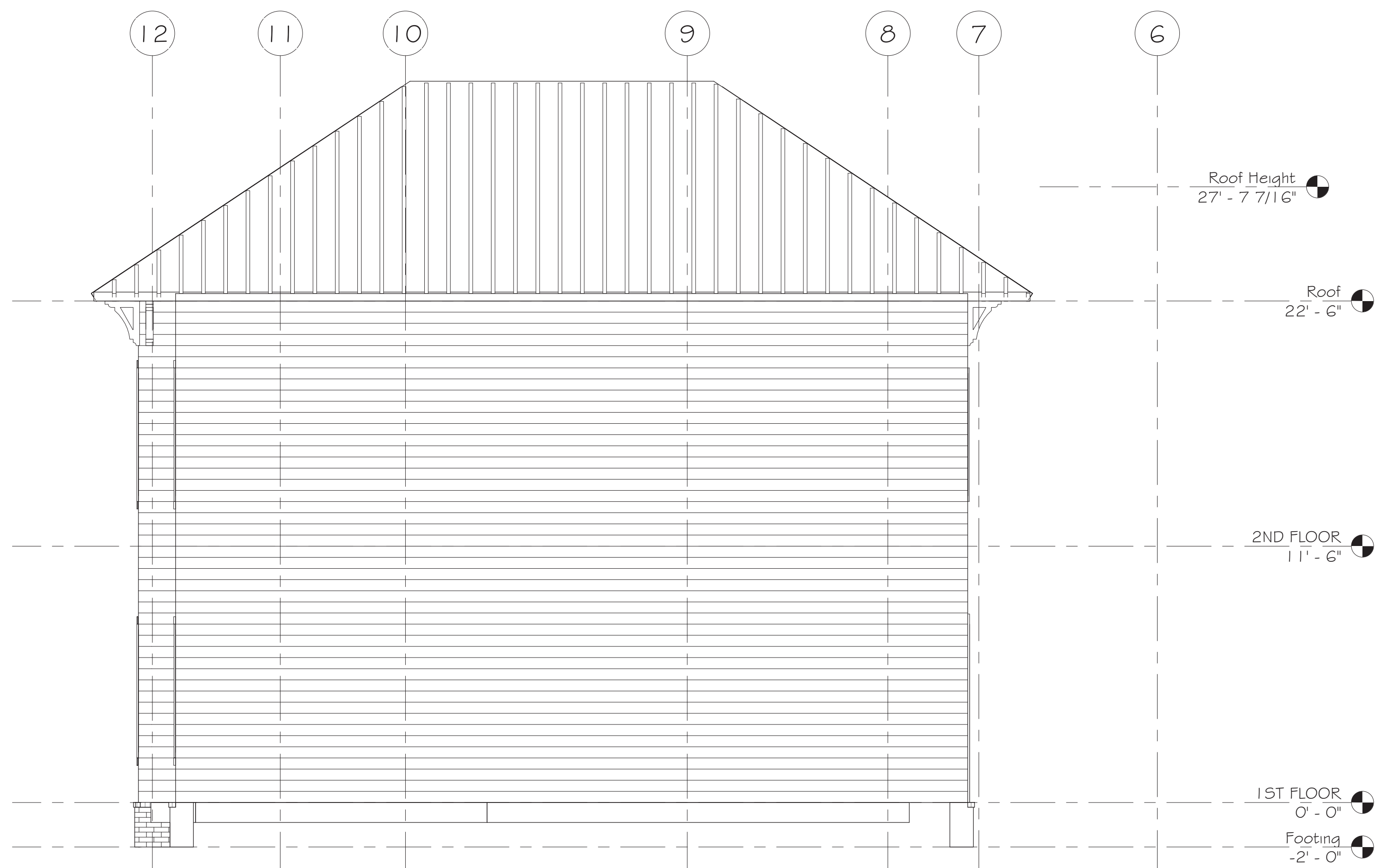
Wellington Court
Oxford, Ms

SD

NUMBER: 17001
DATE: February, 2017
DRAWN: PMJ
CHECKED: MGJ

A303

17001



① RIGHT ELEVATION 4BR
1/4" = 1'-0"



② LEFT ELEVATION 4BR
1/4" = 1'-0"

PROJECT ARCHITECT

SOZO ARCHITECTURE, PLLC
MICHAEL GREY JONES, AIA, LEED AP
P.O. Box 393
OXFORD, MS
(662) 205-0543
MJONES@SOZOARCH.COM

WELLINGTON PLACE OXFORD, MS

PN: 17002

OWNER: PINE BLUFF INVESTMENTS, LLC
ARCHITECT: SOZO ARCHITECTURE, PLLC

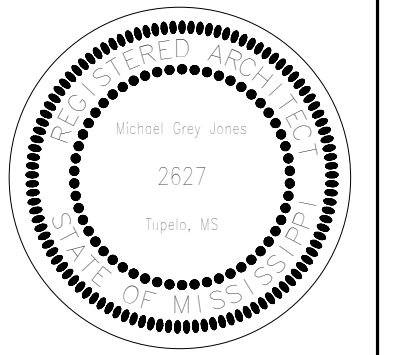
JANUARY 26, 2017 SD



PROJECT ENGINEERS

CIVIL:
PRECISION ENGINEERING CORPORATION
PAUL KOSHENINA, P.E.
276 COUNTY ROAD 101
OXFORD, MS
(662) 234-8539
PAUL@PECORP.COM





NOT FOR CONSTRUCTION

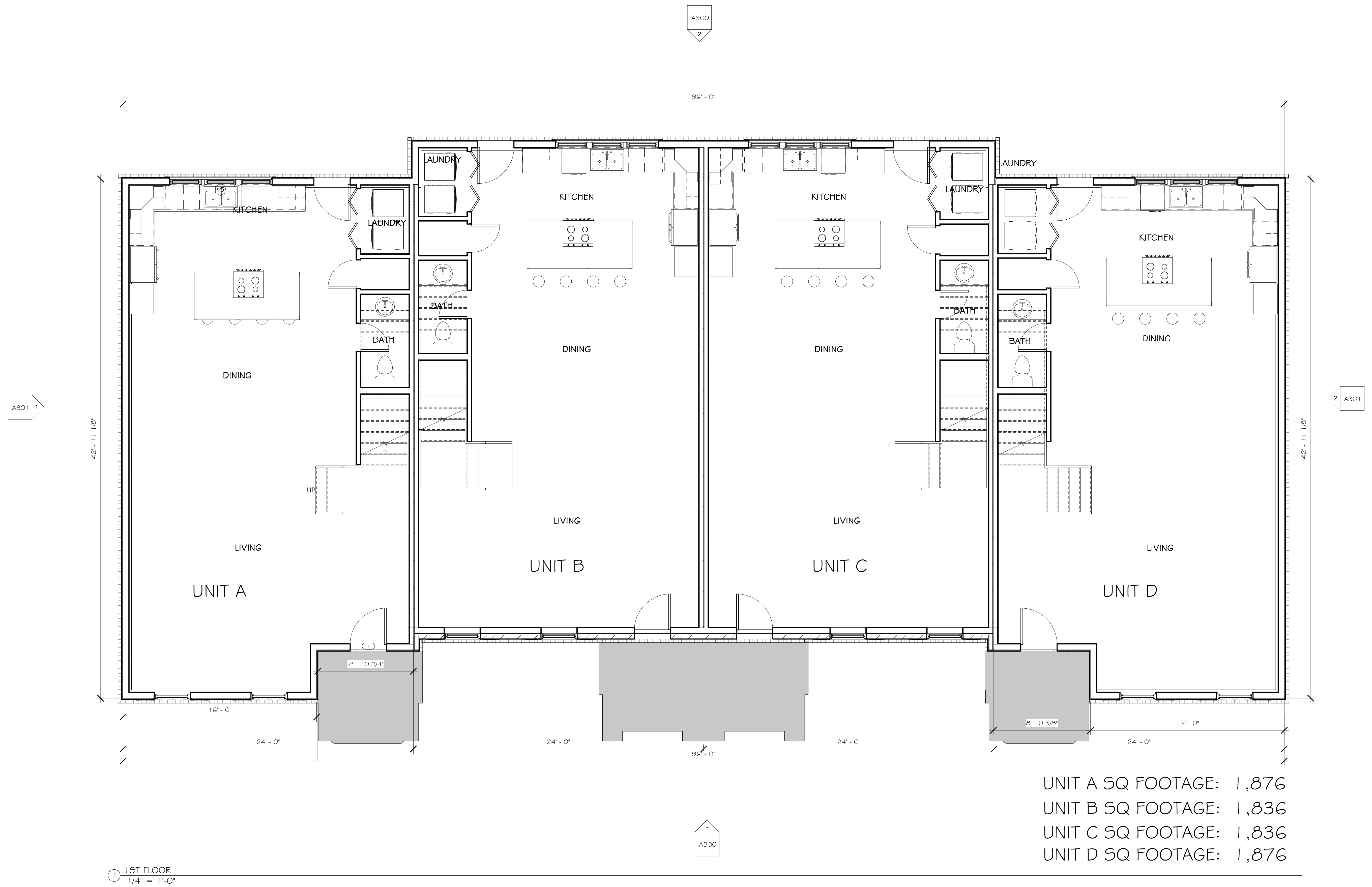
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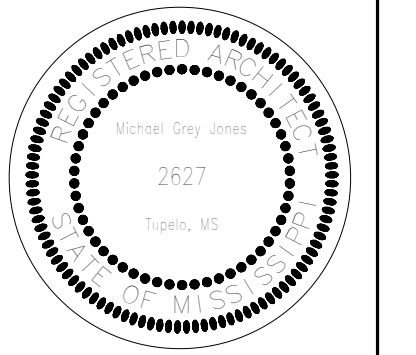
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2

NUMBER: 17002
DATE: February, 2017
DRAWN: PMJ
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A101





NOT FOR CONSTRUCTION

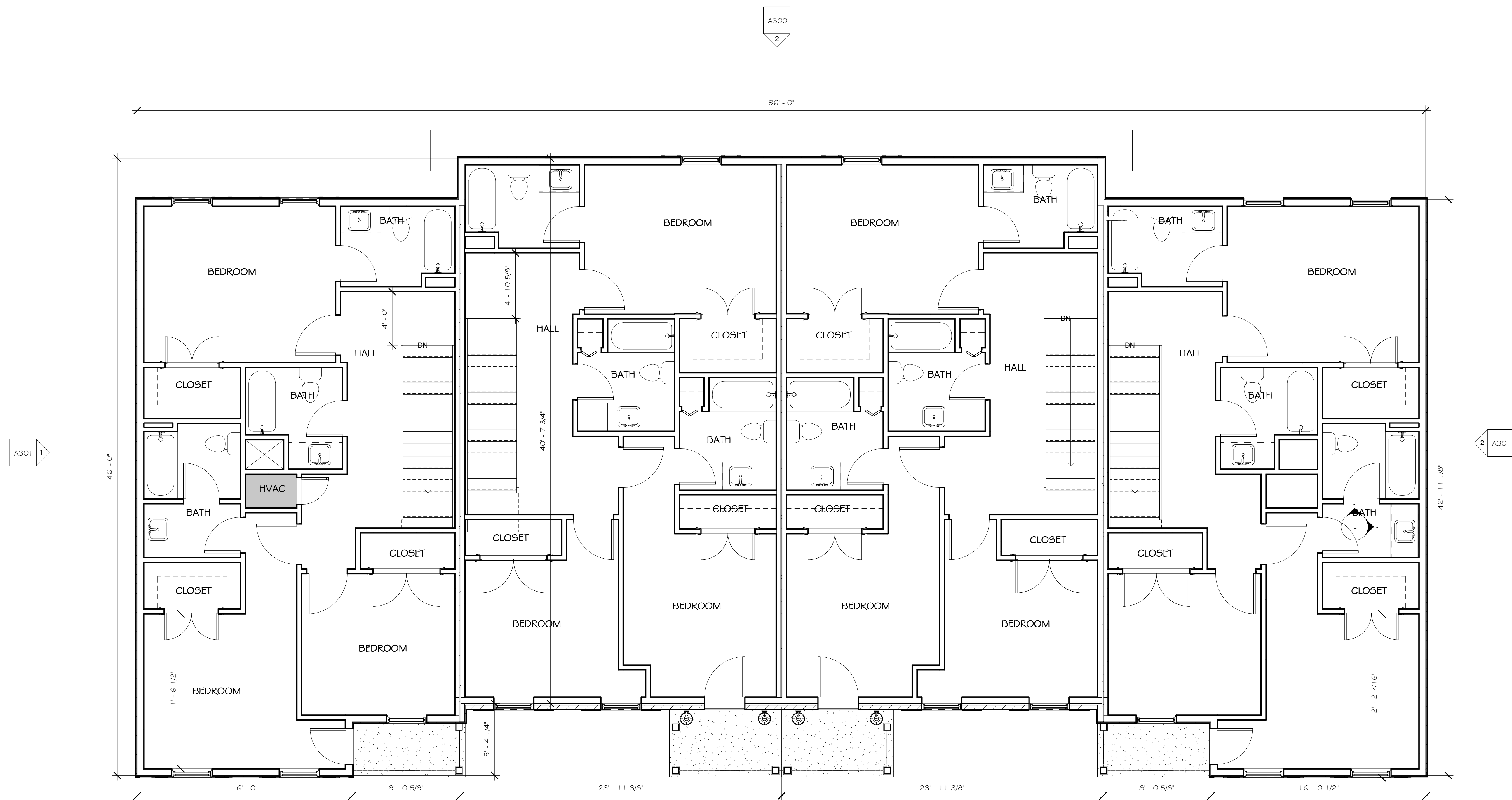
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Wellington Place
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5

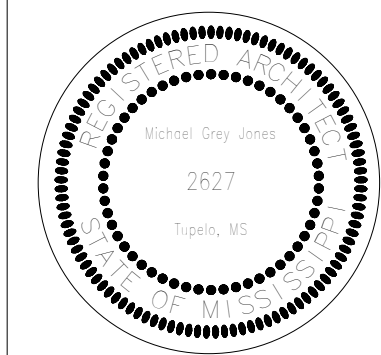
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DATE: February, 2017
DRAWN: PMJ
CHECKED: MGJ

A102



UNIT A SQ FOOTAGE: 1,876
UNIT B SQ FOOTAGE: 1,836
UNIT C SQ FOOTAGE: 1,836
UNIT D SQ FOOTAGE: 1,876

① 2ND FLOOR
1/4" = 1'-0"



REVISION

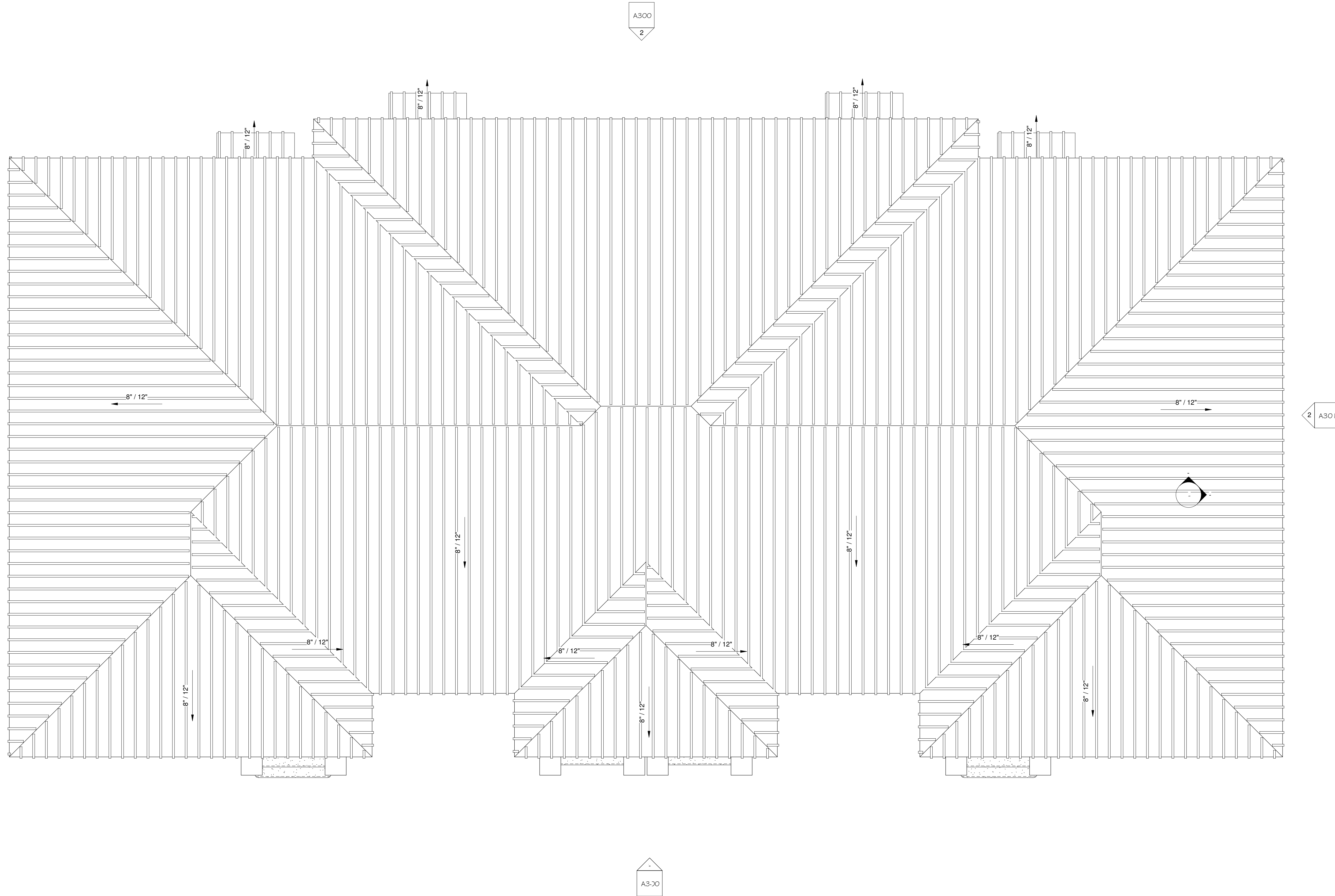
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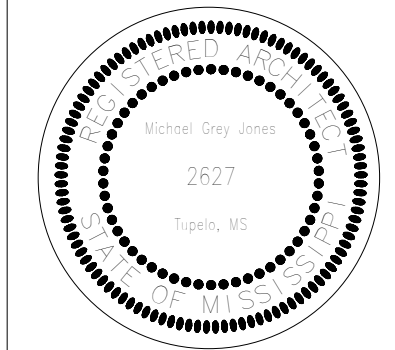
Wellington Place
Oxford, Ms

SD

NUMBER: 17002
DATE: February, 2017
DRAWN: PMJ
CHECKED: MGJ

A120





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REVISION	

Wellington Place
Oxford, Ms

SD

NUMBER: 17002
DATE: February, 2017
DRAWN: PMJ
CHECKED: MGJ

A300

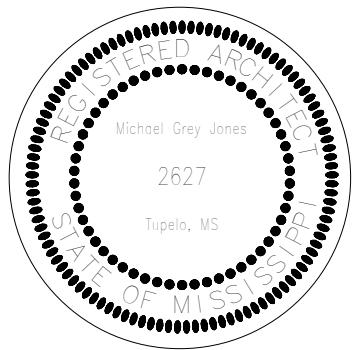


① FRONT ELEVATION
1/4" = 1'-0"



② BACK ELEVATION
1/4" = 1'-0"

THESE DRAWINGS ARE CONCEPTUAL AND SUBJECT TO CHANGE



NOT FOR CONSTRUCTION

REVISION	

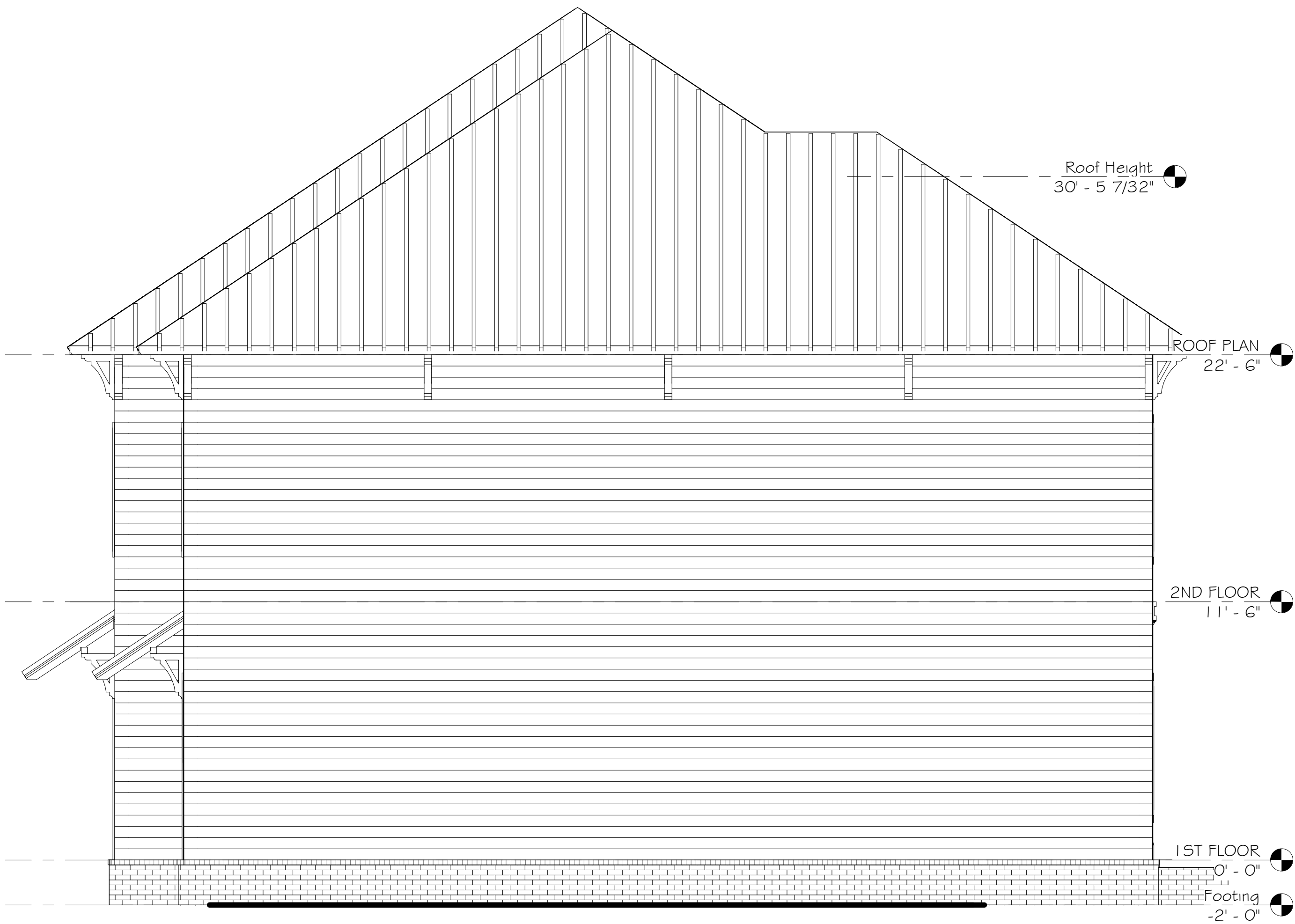
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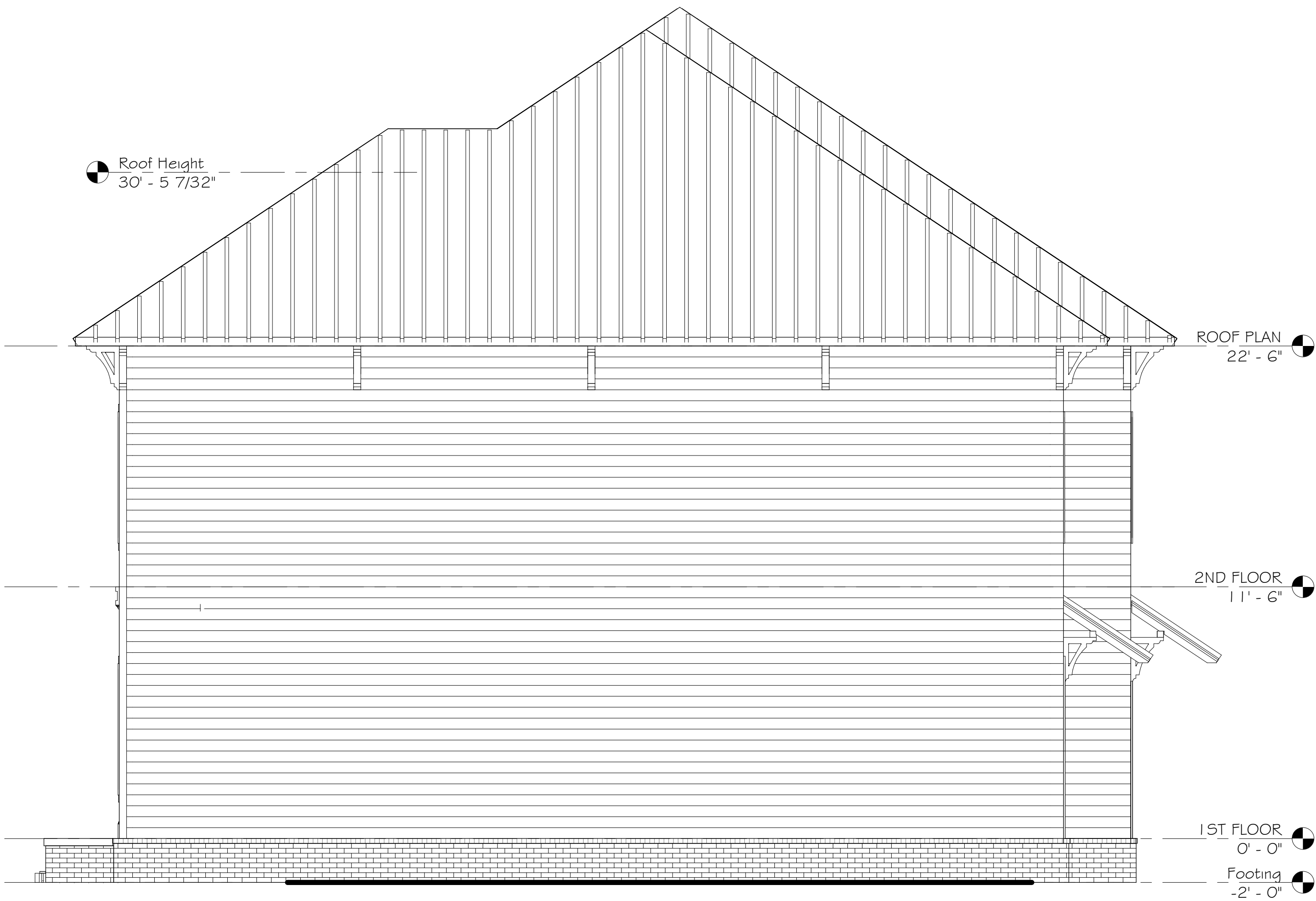
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A301

THESE DRAWINGS ARE CONCEPTUAL AND SUBJECT TO CHANGE



① LEFT ELEVATION
1/4" = 1'-0"



② RIGHT ELEVATION
1/4" = 1'-0"